

# WILMINGTON MUNICIPAL GOLF COURSE

## PRO SHOP & MAINTENANCE BUILDING IMPROVEMENTS

### CONSTRUCTION DOCUMENTS

PROJECT ADDRESS:  
311 DONALD ROSS DRIVE  
WILMINGTON, NC 28409

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan		Name: <u>Umc</u> Date: <u>4-2-2019</u>	
Planning	<u>3/20/19</u>	Traffic	<u>4/15/19</u>
Fire	<u>C. W.</u>	Signed:	<u>E-S</u>
City of Wilmington Public Services • Engineering Division		APPROVED STORMWATER MANAGEMENT PLAN Date: <u>4-4-19</u> Permit # <u>2019004</u> Signed: <u>E-S</u>	



VICINITY MAP

SCALE: 1"=1000'



SOILS MAP

SCALE: 1"=500'

**NOTICE REQUIRED**

ALL EXISTING UNDERGROUND UTILITIES SHALL BE PHYSICALLY LOCATED PRIOR TO THE BEGINNING OF ANY CONSTRUCTION IN THE VICINITY OF SAID UTILITIES.

CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION.

CONTRACTORS SHALL CONTACT OVERHEAD ELECTRIC PROVIDER TO COMPLY WITH FEDERAL OSHA 1910.333 MINIMUM APPROACH DISTANCE TO ENERGIZED POWERLINES AND OSH 29 CFR 1926.1407-1411 MUST BE FOLLOWED.

CONTRACTOR SHALL CONTACT AT&T PRIOR TO ANY DEMOLITION TO ALLOW FOR AT&T TO DISCONNECT COMMUNICATIONS CABLES COMING INTO THE SITE.

**CONTACT THESE UTILITIES**

CITY OF WILMINGTON PLANNING & DEVELOPMENT  
ATTN: MEGAN CROWE, PLANNER  
PH: 910-341-3257

ATTN: ZONING INSPECTIONS  
PH: 910-254-0900

PIEDMONT NATURAL GAS  
ATTN: CATHY PLEASANT  
PH: 910-251-2827

EMERGENCY DIAL 911  
POLICE - FIRE - RESCUE  
ATTN: CITY OF WILMINGTON FIRE & LIFE SAFETY  
PH: 910-343-0996

CAPE FEAR PUBLIC UTILITY AUTHORITY (WATER & SEWER)  
ENGINEERING/INSPECTIONS  
PH: 910-332-6560

OPERATIONS/MAINTENANCE  
PH: 910-322-6550

DUKE ENERGY  
DISTRIBUTION CONSTRUCTION SERVICE  
DEP CSC PH: 1-800-452-2777

TRANSMISSION AGENT  
BILL WILDER  
PH: 910-772-4903

AT&T/BELL SOUTH  
ATTN: STEVE DAYVAULT (BUILDING ENGINEERING)  
PH: 910-341-0741

ATTN: JAMES BATSON, ENGINEERING  
PH: 910-341-1521

SPECTRUM  
GENERAL PH: 800-892-4357

OWNER:  
CITY OF WILMINGTON  
305 CHESTNUT STREET  
WILMINGTON, NORTH CAROLINA 28402

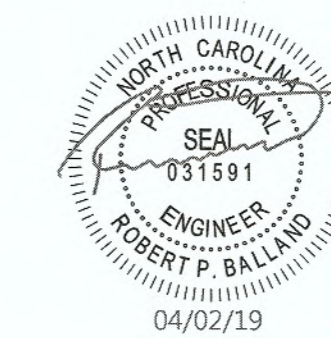
ARCHITECT:  
SAWYER, SHERWOOD & ASSOCIATES ARCHITECTURE  
124 MARKET STREET  
WILMINGTON, NORTH CAROLINA 28403  
ATTN: JOHN SAWYER (910) 762-0892

ENGINEER (CIVIL) & LANDSCAPE ARCHITECT:  
PARAMOUNTE ENGINEERING, INC.  
122 CINEMA DRIVE  
WILMINGTON, NORTH CAROLINA 28403  
ATTN: ROB BALLAND, P.E. (910) 791-6707

LAND SURVEYOR  
DANFORD & ASSOCIATES LAND SURVEYING  
108 S. KERR AVE  
WILMINGTON, NORTH CAROLINA 28403  
ATTN: DEREK DANFORD, P.L.S.

**SHEET INDEX**

SHEET NUMBER	SHEET TITLE
C-0.0	COVER SHEET
C-1.0	GENERAL NOTES
C-2.0 & C-2.1	SITE INVENTORY & DEMOLITION PLANS
C-2.2	SITE & UTILITY PLAN
C-3.0	GRADING-DRAINAGE-EC PLAN
C-4.0 & C-4.1	DETAILS
L-1.0	LANDSCAPE PLAN



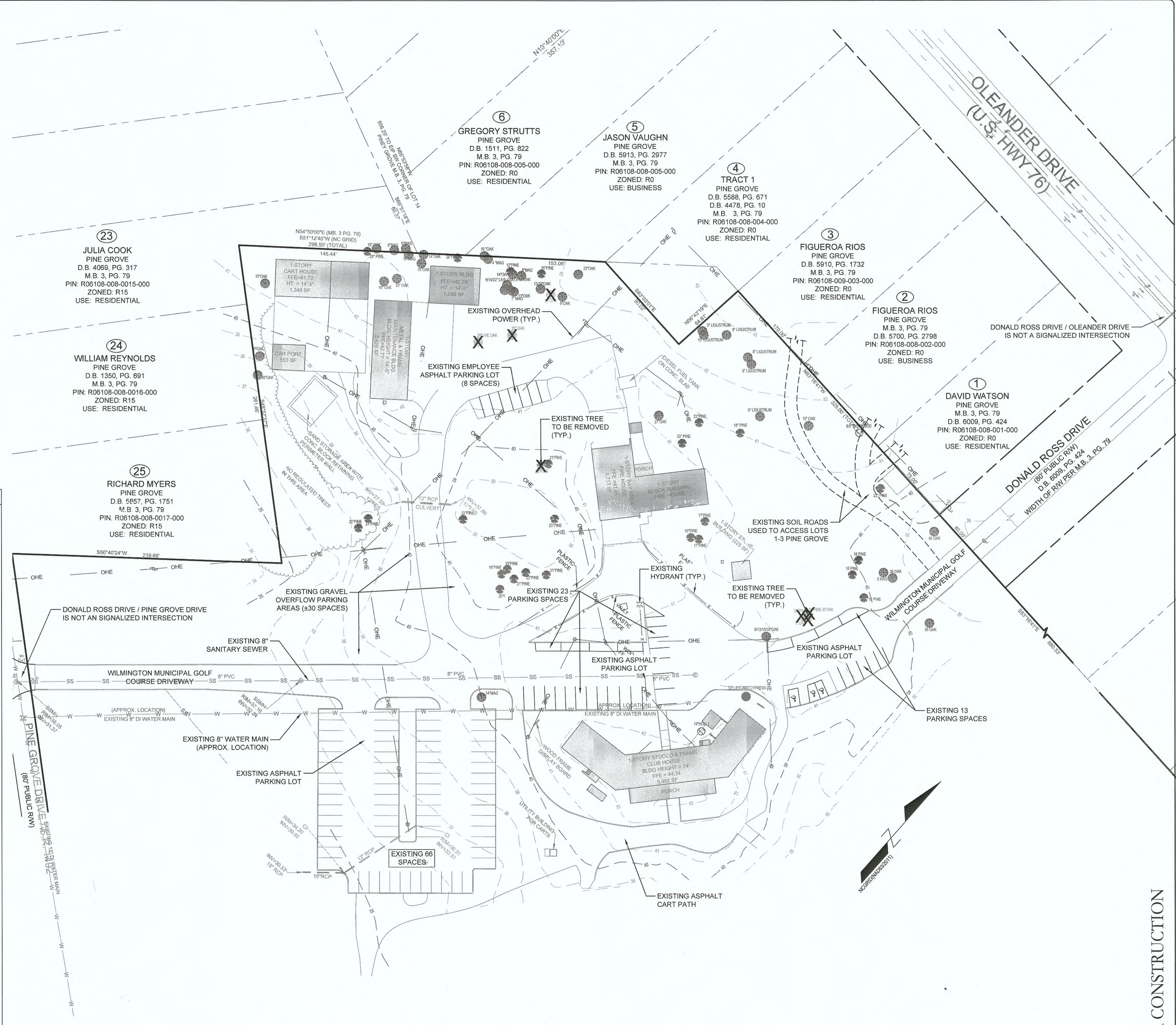
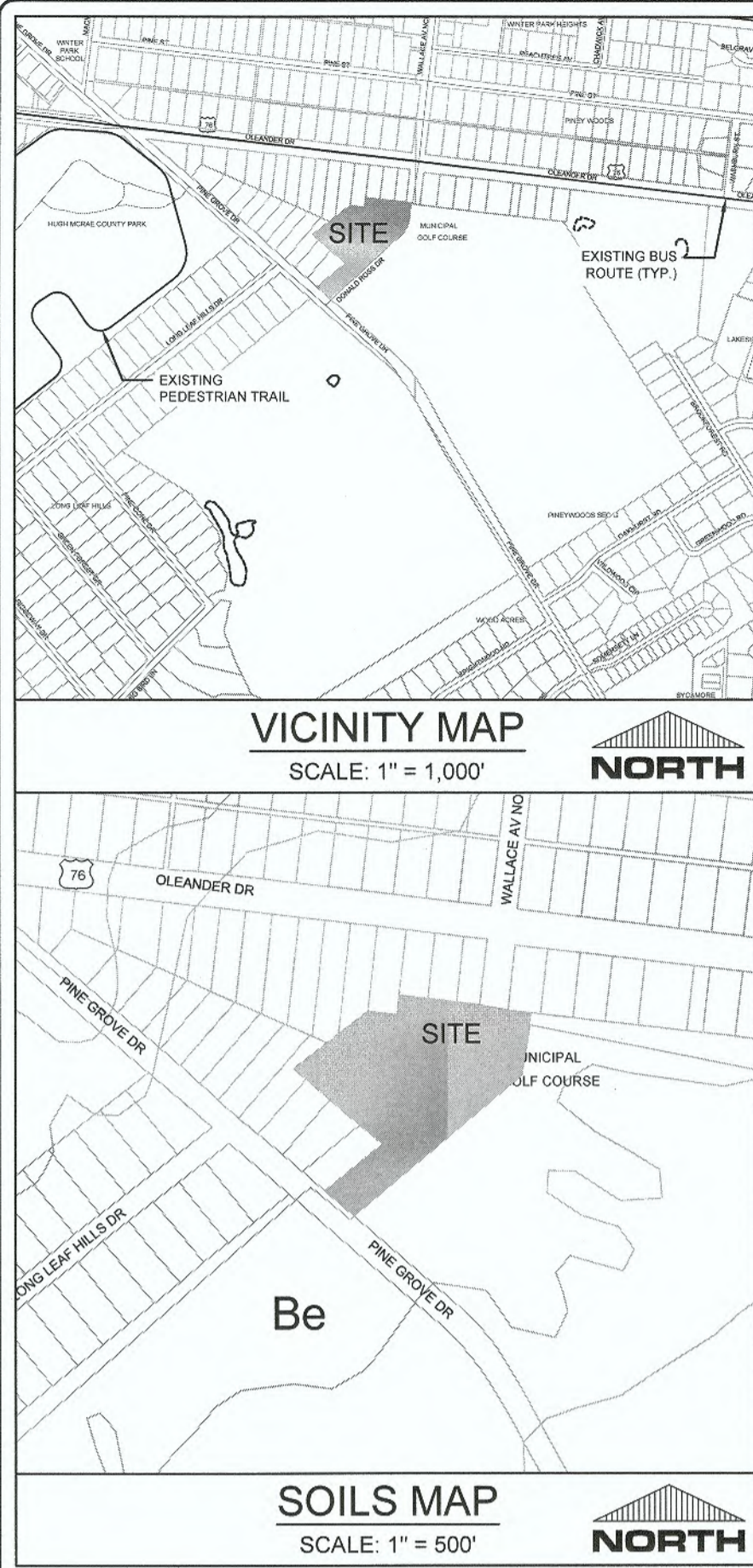
PREPARED BY:

**PARAMOUNTE**  
ENGINEERING, INC.

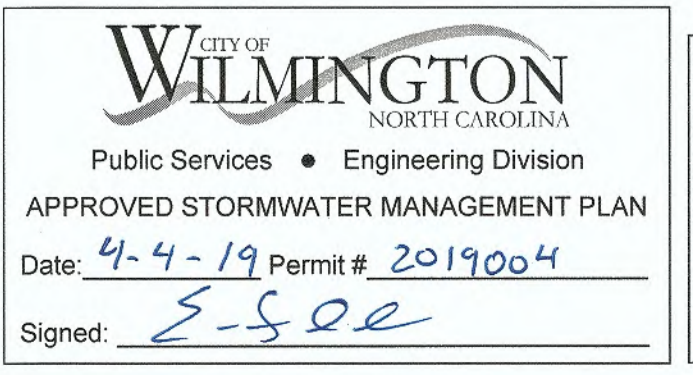
122 Cinema Drive  
Wilmington, North Carolina 28403  
(910) 791-6707 (O) (910) 791-6760 (F)  
NC License #: C-2846  
PROJECT # 18152.PE

ISSUED FOR CONSTRUCTION





SITE INVENTORY DATA	
1. PREPARER OF THE PLAN:	PARAMOUNTE ENGINEERING, INC. 122 CINEMA DRIVE WILMINGTON, NC 28403
2. APPLICANT NAME:	CITY OF WILMINGTON 305 CHESTNUT STREET, P.O. BOX 1810 WILMINGTON, NC 28402
3. SITE ADDRESS:	311 DONALD ROSS DRIVE WILMINGTON, NC 28409
4. PROPERTY OWNER:	CITY OF WILMINGTON 305 CHESTNUT STREET, P.O. BOX 1810 WILMINGTON, NC 28402
5. DEVELOPER:	SAME AS PROPERTY OWNER
6. PROPERTY BOUNDARY:	SEE PLAN
7. ZONING:	R-15-RESIDENTIAL DISTRICT
8. ADJACENT PROPERTY INFORMATION (OWNER AND ZONING):	SEE PLAN
9. VICINITY MAP:	SEE MAP ABOVE
10. TOPOGRAPHY:	SEE PLAN
11. 100 YEAR FLOOD PLAIN BOUNDARY:	THE SUBJECT AREA DOES NOT LIE WITHIN A 100-YEAR FLOOD ZONE AS INDICATED BY FEMA FLOOD ZONE PANEL 3720313600K BEARING AN EFFECTIVE DATE OF AUGUST 28, 2018. A PORTION OF THE PARCEL (OUTSIDE OF SUBJECT AREA) LIES WITHIN FLOOD ZONE AE (EL. 12 FEET) AS INDICATED BY FEMA FLOOD ZONE PANEL 3720313600K BEARING AN EFFECTIVE DATE OF AUGUST 28, 2018.
12. LOCATION OF EXISTING DITCHES, CREEKS, AND STREAMS:	SEE PLAN
13. SOILS:	BAYMEADE-URBAN LAND COMPLEX (Bh) (SEE SOILS MAP ABOVE)
14. CAMA AEC & ASSOCIATED SETBACKS:	N/A
15. CAMA LAND CLASSIFICATION:	URBAN AND WATERSHED RESOURCE PROTECTION
16. CONSERVATION RESOURCES:	N/A
17. LOCAL, STATE, OR FEDERAL HISTORIC OR ARCHAEOLOGICAL SITE:	N/A
18. LOCATION OF CEMETERIES, BURIAL SITES, OR BURIAL GROUNDS:	N/A
19. SQUARE FOOTAGE OF FORESTED AREA, HABITAT, AND DOMINANT SPECIES:	N/A
20. SECTION 404 WETLANDS AND SECTION 10 WATERS:	N/A
21. PROTECTED SPECIES OR HABITAT:	N/A
22. THOROUGHFARES, BIKE ROUTES, SIDEWALKS, TRANSIT FACILITIES (EXISTING OR PROPOSED):	SEE PLAN & VICINITY MAP



Approved Construction Plan

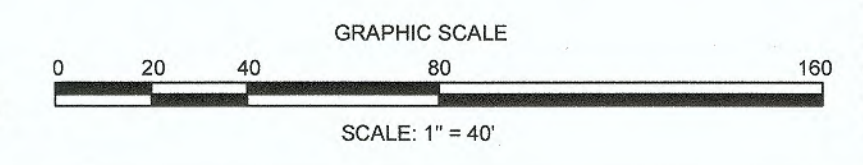
Name: Umc 4-2-2019 Date: \_\_\_\_\_

Planning: [Signature] 4-2-19

Traffic: [Signature] 4/2/19

Fire: C. Wade 4/3/19

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



ISSUED FOR CONSTRUCTION

REVISIONS:

CLIENT INFORMATION:

**PARAMOUNTE ENGINEERING**  
122 Cinema Drive  
Wilmington, North Carolina 28403  
(910) 791-6707 (O) (910) 791-6760 (F)  
NC License #: C-2846

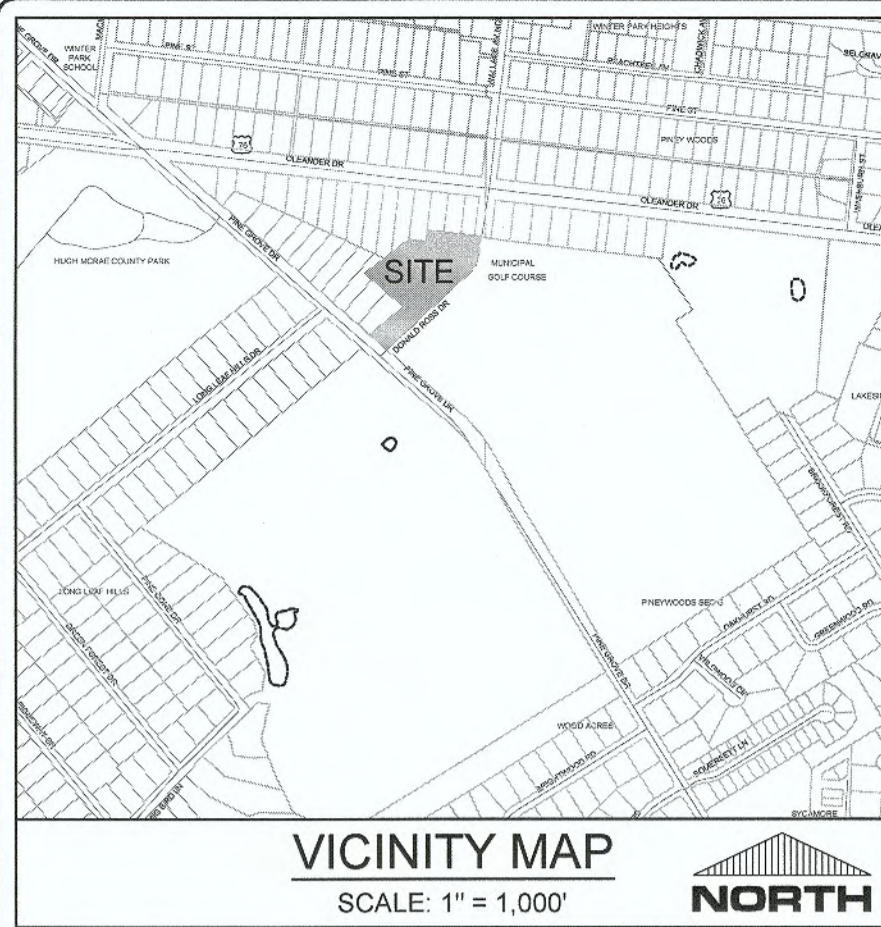
**SITE INVENTORY PLAN**  
WILMINGTON MUNICIPAL GOLF COURSE  
311 DONALD ROSS DRIVE  
WILMINGTON, NC 28409

PROJECT STATUS:  
CONCEPTUAL LAYOUT: \_\_\_\_\_  
FINAL DESIGN: \_\_\_\_\_  
RELEASED FOR CONSTRUCTION: \_\_\_\_\_

DRAWING INFORMATION:  
DESIGNED: \_\_\_\_\_  
SCALE: \_\_\_\_\_  
CHECKED: \_\_\_\_\_

SEAL:  
ROBERT P. BALL, III  
ENGINEER  
051591  
04/02/19

**C-2.0**  
PEI JOB#: 18152.PE



**DEMOLITION NOTES:**

- CONTRACTOR SHALL REFER TO SHEET C-1.0 GENERAL NOTES FOR DEMOLITION NOTES.
- CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANS FOR SPECIFIC TREE REMOVAL.
- ALL UTILITIES TO BE ABANDONED AND/OR DEMOLISHED SHOULD BE CAPPED PROPERLY IN ACCORDANCE WITH THE UTILITY OWNERS RULES AND REGULATIONS.
- CONTRACTOR SHALL COORDINATE WITH REQUIRED UTILITY OWNERS/PROVIDERS FOR ANY DEMOLITION.
- FOR EXISTING FIRE HOUSE TO BE DEMOLISHED: WATER METER TO BE REMOVED WITH APPROVAL THROUGH CPWA. CONFIRM IF THERE ARE ANY OTHER EXISTING CONNECTIONS AT THIS LOCATION. IF THERE ARE EXISTING CONNECTIONS, CONTACT THE OWNER IMMEDIATELY.

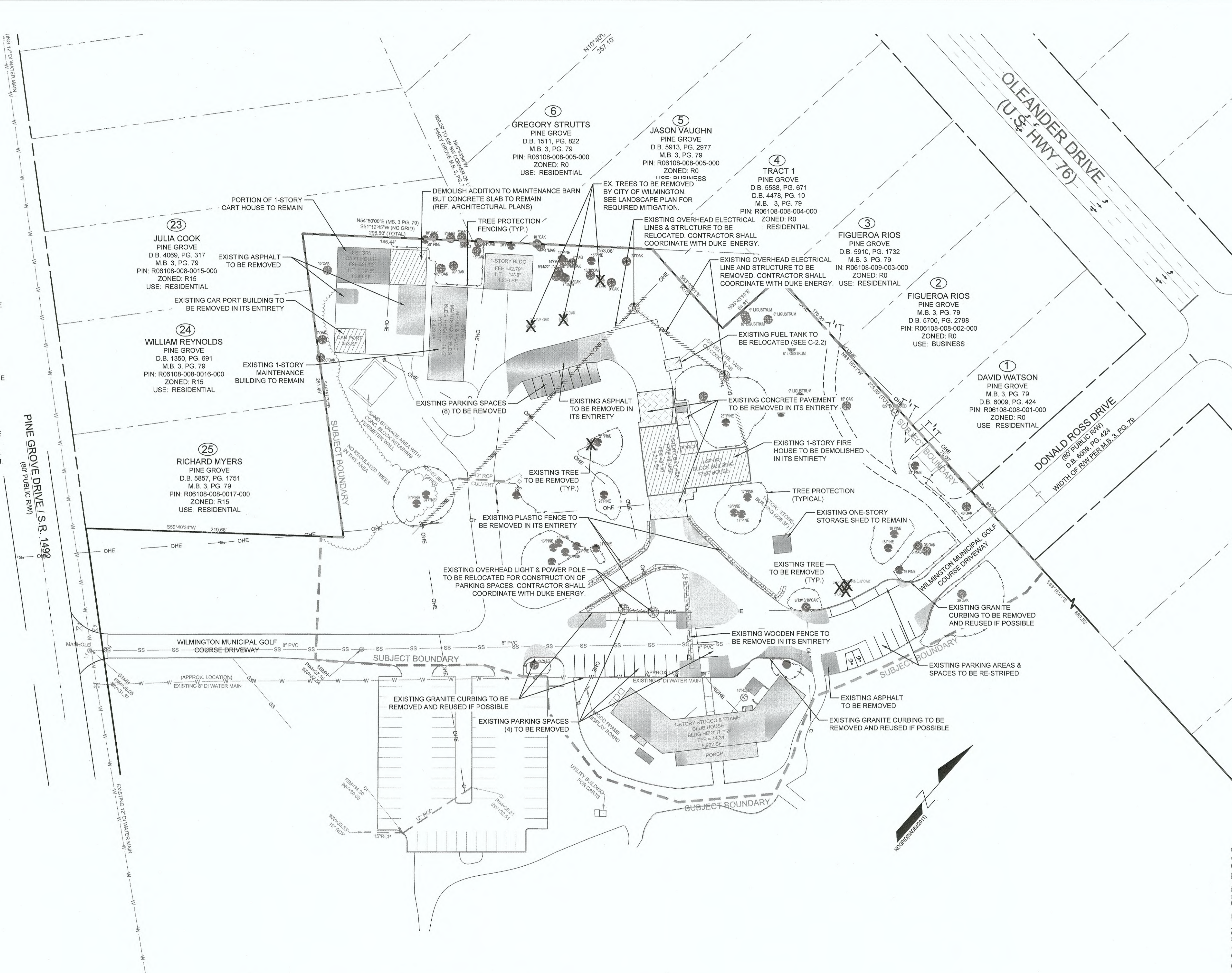
**EXISTING TREES & VEGETATION NOTES:**

- CONTRACTOR SHALL REMOVE SHRUBS AS NECESSARY ALONG THE BUILDINGS FOR CONSTRUCTION AS LONG AS THE SAME QUANTITY AND SPECIES ARE REPLACED WHEN CONSTRUCTION IS COMPLETE.
- TREES TO BE REMOVED AS SHOWN. REFERENCE LANDSCAPE PLAN.

**IMPERVIOUS INFORMATION:**

TOTAL EXISTING IMPERVIOUS WITHIN SUBJECT AREA	72,346 SF
EXISTING IMPERVIOUS TO BE REMOVED	
ASPHALT (DRIVEWAY, PARKING)	7,733 SF
CONCRETE (SIDEWALKS, ETC.)	2,096 SF
BUILDINGS	5,289 SF
TOTAL TO BE REMOVED =	15,118 SF

SYMBOLS LEGEND	
	EXISTING CONCRETE TO BE REMOVED
	EXISTING ASPHALT TO BE REMOVED
	EXISTING UTILITY LINE TO BE REMOVED
	EXISTING STORM STRUCTURE TO BE REMOVED
	EXISTING SIGN/LIGHT/UTILITY POLE TO BE REMOVED
	EXISTING FENCE TO BE REMOVED
	TREE PROTECTION FENCING
	EXISTING TREE/SHRUBS TO BE REMOVED
	EXISTING BUILDING/STRUCTURE TO BE REMOVED
	EXISTING CURBING TO BE REMOVED

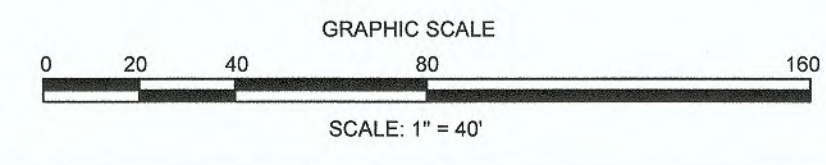


**CITY OF WILMINGTON**  
NORTH CAROLINA  
Public Services • Engineering Division  
APPROVED STORMWATER MANAGEMENT PLAN  
Date: 4-4-19 Permit # 2019004  
Signed: *E.S.O.*

**Approved Construction Plan**  
Name: *Umc* Date: *4-2-2019*  
Planning: *W. S. [Signature]* 4-2-19  
Traffic: *C. Wade* 4/3/19  
Fire: *C. Wade* 4/3/19

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**811**  
Know what's below.  
Call before you dig.



ISSUED FOR CONSTRUCTION

REVISIONS:

CLIENT INFORMATION:  
**SAWYER SHERWOOD & ASSOCIATE ARCHITECTURE**  
124 MARKET ST, WILMINGTON, NC 28403

**PARAMOUNT ENGINEERING INC.**  
122 Cinema Drive  
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(910) 791-6707 (O) (910) 791-6760 (F)  
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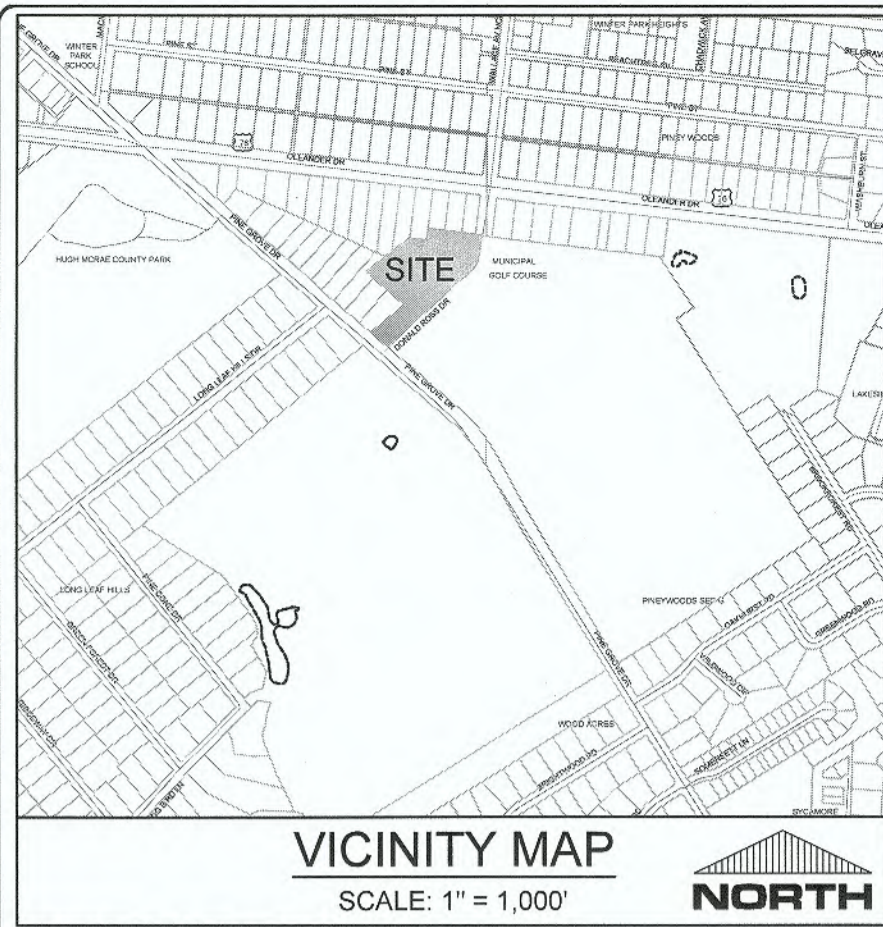
**DEMOLITION PLAN**  
WILMINGTON MUNICIPAL GOLF COURSE  
311 DONALD ROSS DRIVE  
WILMINGTON, NC 28409

PROJECT STATUS:  
CONCEPT LAYOUT:  
FINAL DESIGN:  
RELEASED FOR CONSTRUCTION:  
DATE: 04/02/19  
SCALE: 1" = 40'  
DRAWN: AEC  
CHECKED: RPB

**SEAL**  
NORTH CAROLINA PROFESSIONAL ENGINEER  
ROBERT P. BALLING  
031591  
04/02/19

**C-2.1**

PEI JOB#: 18152.PE



**SITE DATA TABULATION**

**APPLICANT:** CITY OF WILMINGTON  
305 CHESTNUT STREET, P.O. BOX 1810  
WILMINGTON, NC 28402

**PROPERTY OWNER:** CITY OF WILMINGTON  
305 CHESTNUT STREET, P.O. BOX 1810  
WILMINGTON, NC 28402

**PROJECT ADDRESS:** WILMINGTON MUNICIPAL GOLF COURSE  
311 DONALD ROSS DRIVE  
WILMINGTON, NC 28409

**TAX PARCEL IDENTIFICATION #:** R06100-004-001-000  
**RECORDED DEED BOOK:** BK 252, PG 142  
**PROJECT AREA ("SUBJECT BOUNDARY"):** 4.8 ACRES (200,940 SF)  
**TOTAL SITE AREA:** 136.37 ACRES (5,940,277 SF)  
**CURRENT ZONING:** R-15-RESIDENTIAL DISTRICT  
**CAMA LAND USE CLASSIFICATION:** URBAN AND WATERSHED RESOURCE PROTECTION

**MAXIMUM ALLOWABLE BUILDING HEIGHT:** 35 FEET  
**EXISTING LAND USE:** GOLF COURSE  
**PROPOSED LAND USE:** GOLF COURSE  
**LAND USE CODE:** 797-RECREATIONAL (PUBLIC/NON-PARK)  
**BUILDING LOT COVERAGE (MAX./PROPOSED):** MAXIMUM = 50%  
\*PROPOSED = 8.9% (17,815 SF)

**SETBACK STANDARDS**

	PROVIDED	REQUIRED
MINIMUM FRONT SETBACK	30 FT	30 FT
MINIMUM SIDE SETBACK	10 FT	10 FT
MINIMUM CORNER SETBACK	15 FT	15 FT
MINIMUM REAR SETBACK	25 FT	25 FT

**FLOOD NOTE**  
THE SUBJECT AREA LIES IN AN AREA OF MINIMAL FLOOD HAZARD (FLOOD ZONE X) AS INDICATED BY FEMA FLOOD ZONE PANEL 3720313600K BEARING AN EFFECTIVE DATE OF AUGUST 28, 2018. A PORTION OF THE PARCEL (OUTSIDE OF THE SUBJECT AREA) LIES WITHIN FLOOD ZONE AE (EL. 12 FEET) AS INDICATED BY FEMA FLOOD ZONE PANEL 3720313600K BEARING AN EFFECTIVE DATE OF AUGUST 28, 2018.

**BUILDING INFORMATION**  
EXIST. NO. OF BUILDINGS/SHEDS: 7 BUILDINGS  
PROP. NO. OF BUILDINGS/SHEDS: 6 BUILDINGS

**IMPERVIOUS INFORMATION**

TOTAL EXISTING IMPERVIOUS WITHIN PROJECT AREA	236,300 SF
EX. IMPERVIOUS TO BE REMOVED	72,346 SF
PROPOSED IMPERVIOUS	15,118 SF
ASPHALT PARKING / DRIVEWAYS	12,723 SF
CONCRETE	1,211 SF
SIDEWALK	3,893 SF
BUILDINGS	6,914 SF
TOTAL PROPOSED IMPERVIOUS	24,741 SF

NET IMPERVIOUS = TOTAL PROPOSED IMPERVIOUS - EXISTING IMPERVIOUS TO BE REMOVED  
NET IMPERVIOUS = 24,741 SF - 15,118 SF = 9,623 SF

**PARKING**  
HANDICAP REQUIRED: 5 SPACES (WITH 1 HANDICAP VAN SPACE)  
HANDICAP PROVIDED: 6 SPACES (WITH 1 HANDICAP VAN SPACE)  
BICYCLE PARKING REQ'D: 10 SPACES  
\*5 SPACES/25 VEHICLE PARKING SPACES (VPS) + 5 SPACES FOR EACH ADDITIONAL 100 VPS  
BICYCLE PARKING PROVIDED: 10 SPACES

**PARKING CALCULATIONS**

USE	STANDARD		INPUT	MIN. REQUIRED SPACES	MAX. ALLOWED SPACES
	MIN.	MAX.			
GOLF COURSE	50 PER 18 HOLES	150% OF MIN.	50 HOLES	50	75
ASSEMBLY HALL	1 PER 400 GSF OR 1 PER 4 SEATS (WHICHEVER IS GREATER)	1 PER 250 GSF OR 1 PER 3 SEATS (WHICHEVER IS GREATER)	3,211 GSF OF ASSEMBLY HALL OR 187 OCCUPANCY	47	62
WAREHOUSING GENERAL	1 PER 1,000 GSF	150% OF MIN.	11,439 GSF OF WAREHOUSING	11	17
TOTAL PARKING SPACES ALLOWANCES =				108	154
EXISTING PARKING SPACES =				110	
PARKING SPACES REMOVED =				12	
PROPOSED NEW PARKING SPACES =				41	
TOTAL PROVIDED PARKING SPACES =				139 (INCL. 6 HANDICAP)	
ADEQUATE PARKING PROVIDED?				139 > 108 = YES	139 > 154 = YES

**KEY NOTES:**

- STORMWATER AREA DETENTION / INFILTRATION AREA
- GRANITE CURB REPLACEMENT: NOTE CITY PARKS MAY UTILIZE CITY STOCKPILE OF GRANITE CURB OR SUBSTITUTE WITH STAND-UP CURB
- STRIPED CROSSWALKS: FOLLOWING CITY OF WILMINGTON STANDARDS. REFER TO DETAILS.
- WHEEL STOPS: REFER TO DETAILS
- SINGLE DUMPSTER WITH ENCLOSURE: SHADOWBOX FENCE AND GATE DETAIL FOR DUMPSTER ENCLOSURE (REFER TO DETAILS)
- HANDICAP PARKING SIGN: TYPICAL FOR EACH HC PARKING SPACE REFER TO DETAIL C-4.0
- DIRECTIONAL ARROW STRIPING: PROVIDE DIRECTION ARROW STRIPING AS SHOWN. USE HIGHWAY MARKING PAINT - WHITE (2 COATS). REFER TO DETAIL C-5.0
- SIGN LOCATION: "DO NOT ENTER" (R5-1) SIGN.
- BICYCLE RACK: CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW (10 SPACES MIN.)
- CONCRETE SIDEWALK: SEE DETAILS
- HANDICAP RAMP (SIDEWALK): SEE DETAILS
- DETECTABLE WARNING MAT: SEE DETAILS
- RAMP HANDRAILS: FOLLOWING ADA REQUIREMENTS. DESIGN BY OTHERS.
- HANDICAP ACCESS UNLOADING ZONE: SLOPE 2% MAX. EACH WAY (ADA COMPLIANT) AND STRIPS AS SHOWN.
- HANDICAP PARKING SYMBOL: SEE DETAILS
- END CURB TREATMENT: SEE DETAILS
- TREE PROTECTION FENCING: SEE DETAILS
- PROPOSED OVERHEAD POWER RELOCATION: CONTRACTOR TO COORDINATE WITH DUKE ENERGY AND FOLLOW ELECTRICAL PLANS
- HANDICAP RAMP / LANDING AREA: SEE DETAILS
- VISUAL SCREEN FENCE: SEE ARCHITECTURAL PLANS

**JULIA COOK**  
PINE GROVE  
D.B. 4069, PG. 317  
M.B. 3, PG. 79  
PIN: R06108-008-0015-000  
ZONED: R15  
USE: RESIDENTIAL

**WILLIAM REYNOLDS**  
PINE GROVE  
D.B. 1350, PG. 691  
M.B. 3, PG. 79  
PIN: R06108-008-0016-000  
ZONED: R15  
USE: RESIDENTIAL

**RICHARD MYERS**  
PINE GROVE  
D.B. 5857, PG. 1751  
M.B. 3, PG. 79  
PIN: R06108-008-0017-000  
ZONED: R15  
USE: RESIDENTIAL

**GREGORY STRUTTS**  
PINE GROVE  
D.B. 1511, PG. 822  
M.B. 3, PG. 79  
PIN: R06108-008-005-000  
ZONED: R0  
USE: RESIDENTIAL

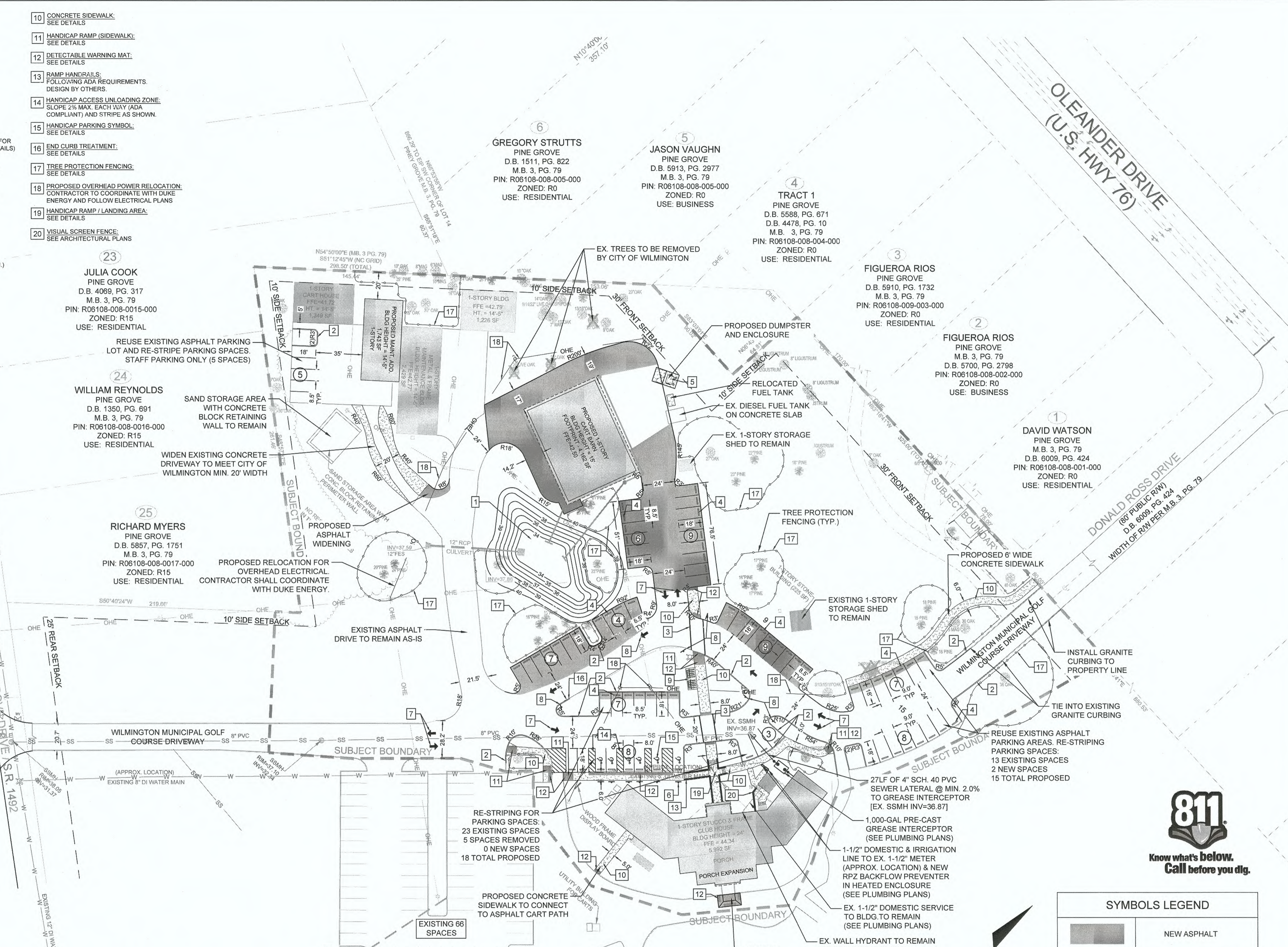
**JASON VAUGHN**  
PINE GROVE  
D.B. 5913, PG. 2977  
M.B. 3, PG. 79  
PIN: R06108-008-005-000  
ZONED: R0  
USE: BUSINESS

**TRACT 1**  
PINE GROVE  
D.B. 5588, PG. 671  
D.B. 4478, PG. 10  
M.B. 3, PG. 79  
PIN: R06108-008-004-000  
ZONED: R0  
USE: RESIDENTIAL

**FIGUEROA RIOS**  
PINE GROVE  
D.B. 5910, PG. 1732  
M.B. 3, PG. 79  
PIN: R06108-009-003-000  
ZONED: R0  
USE: RESIDENTIAL

**FIGUEROA RIOS**  
PINE GROVE  
D.B. 5700, PG. 2798  
M.B. 3, PG. 79  
PIN: R06108-008-002-000  
ZONED: R0  
USE: BUSINESS

**DAVID WATSON**  
PINE GROVE  
D.B. 6009, PG. 424  
M.B. 3, PG. 79  
PIN: R06108-008-001-000  
ZONED: R0  
USE: RESIDENTIAL



**CHEMICAL, FUEL, & FERTILIZER STORAGE**  
STORAGE AND HANDLING OF MATERIALS SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS AND SHALL NOT DRAIN OR DISCHARGE TO THE NATURAL DRAINAGE PATTERN BUT HAVE SECONDARY STORAGE DEVICES IN ACCORDANCE WITH OSHA.

**FIRE & LIFE SAFETY NOTES**  
1. CONTRACTOR SHALL MAINTAIN AN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.  
2. ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.  
3. ICC BUILDING TYPES:  
- EXISTING CLUBHOUSE: TYPE V UNPROTECTED  
- PROPOSED CLUBHOUSE PORCH ADDITIONS: TYPE V UNPROTECTED  
- PROPOSED CART BARN: TYPE IIB NON-COMBUSTIBLE  
- PROPOSED MAINTENANCE BUILDING ADDITION: TYPE IIB NON-COMBUSTIBLE

**TRAFFIC NOTES**  
1. IF EXISTING PAVEMENT MARKINGS WITHIN THE PROJECT AREA HAVE WEATHERED TO THE POINT WHERE THEY ARE NO LONGER IN ACCORDANCE WITH MUTCD STANDARDS OF MAINTENANCE, IT IS THE DEVELOPER'S RESPONSIBILITY TO RETURN MARKINGS TO ACCEPTABLE STANDARDS AND MAINTAIN ALL PAVEMENT MARKINGS.  
2. ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30' TO 10'.

**WATER & SEWER INFORMATION**  
NO NEW FIRE, WATER, OR SEWER SERVICES ARE PROPOSED FOR ANY OF THE BUILDINGS.  
WATER: 0 GPD (PROPOSED USE)  
SEWER: 0 GPD (PROPOSED USE)

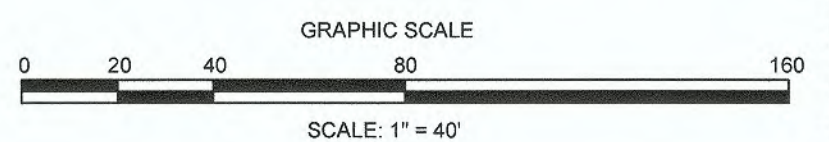
**"NOTE FOR EXISTING FIRE HOUSE TO BE DEMOLISHED"**  
WATER METER TO BE REMOVED WITH APPROVAL THROUGH CFPUA. CONFIRM IF THERE ARE ANY OTHER EXISTING CONNECTIONS AT THIS LOCATION.  
IF THERE ARE EXISTING CONNECTIONS, CONTACT THE OWNER IMMEDIATELY.

**UTILITIES**  
APPROXIMATE LOCATIONS OF EXISTING 8" AND 12" WATER MAINS SHOWN ON PLANS (INFORMATION PROVIDED BY CFPUA GIS SERVICES). CONTRACTOR SHALL VERIFY LOCATION IN FIELD.  
CONTRACTOR TO COORDINATE WITH DUKE ENERGY FOR ANY REQUIRED ELECTRICAL RELOCATIONS OR REMOVALS. SEE ELECTRICAL SITE PLANS FOR PROPOSED ELECTRICAL SCOPE OF WORK. FOR RELOCATED OVERHEAD ELECTRICAL LINES, A MIN. CLEARANCE OF 15' FROM BUILDINGS IS REQUIRED.

**WILMINGTON**  
NORTH CAROLINA  
Public Services • Engineering Division  
APPROVED STORMWATER MANAGEMENT PLAN  
Date: 4-4-19 Permit # 2019004  
Signed: S-f-o-e

**Approved Construction Plan**  
Name: UMC 4-2-2019 Date: 4/5/19  
Planning: [Signature]  
Traffic: [Signature]  
Fire: [Signature]

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy end/or project acceptance.



ISSUED FOR CONSTRUCTION

**REVISIONS:**

**CLIENT INFORMATION:**  
**PARAMOUNT ENGINEERING**  
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Wilmington, North Carolina 28403  
(910) 791-6707 (O) (910) 791-6760 (F)  
NC License #: C-2846

**SITE & UTILITY PLAN**  
WILMINGTON MUNICIPAL GOLF COURSE  
311 DONALD ROSS DRIVE  
WILMINGTON, NC 28409

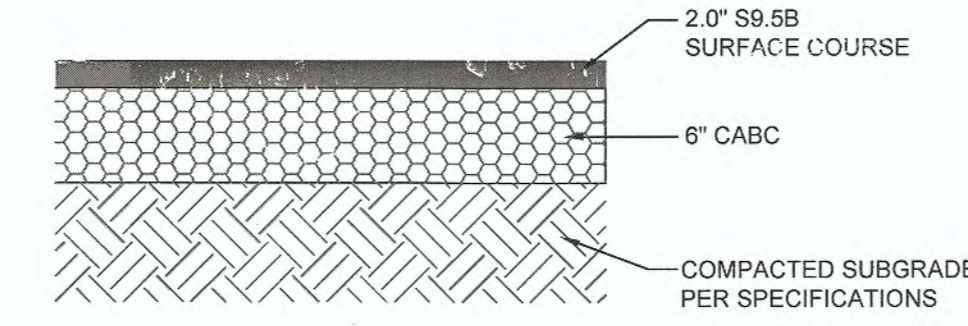
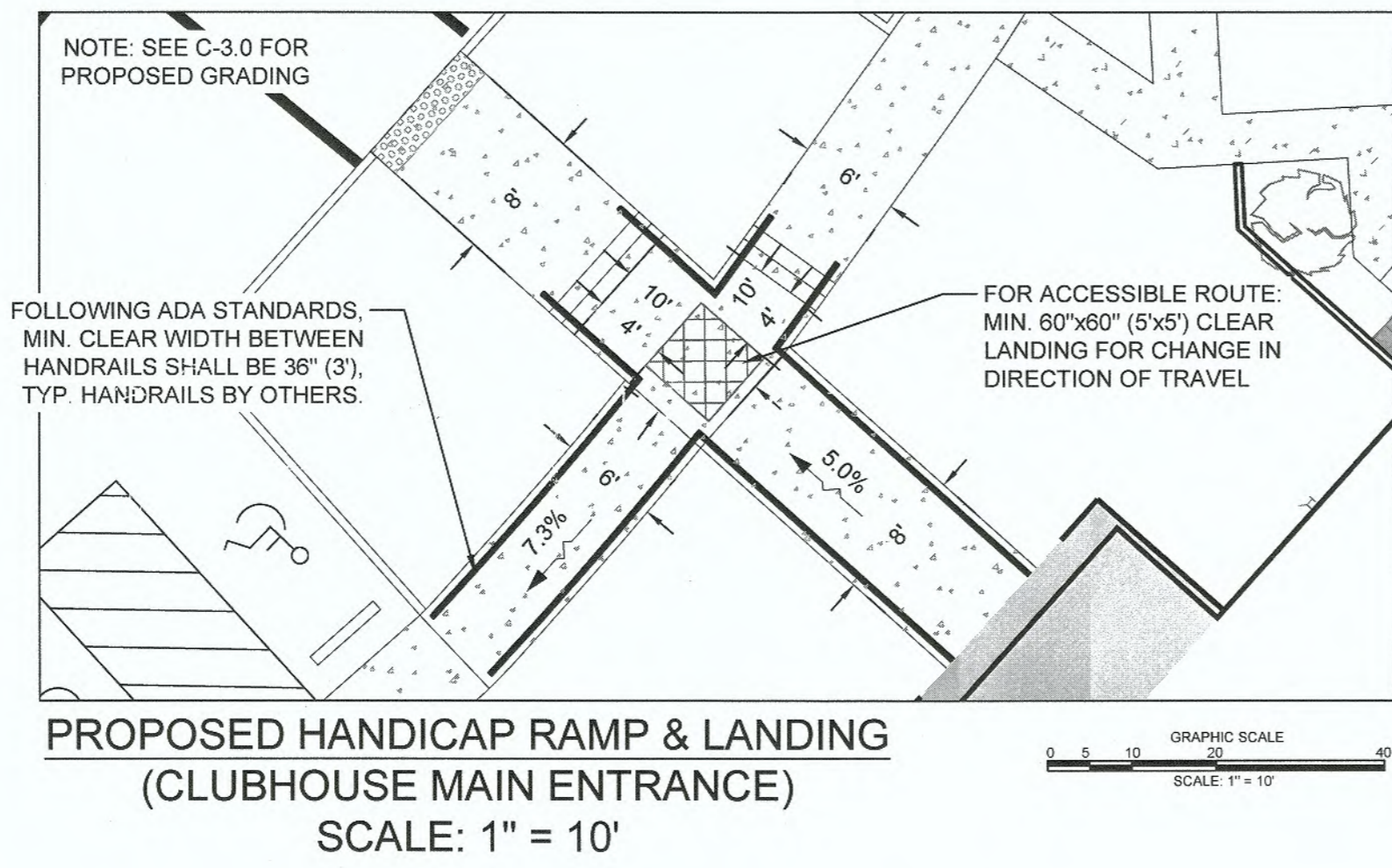
**PROJECT STATUS:**  
CONCEPTUAL LAYOUT: [ ]  
FINAL DESIGN: [ ]  
RELEASED FOR CONSTRUCTION: [ ]

**DRAWING INFORMATION:**  
SCALE: 1" = 40'  
DATE: 4/5/19  
DESIGNED: [ ]  
CHECKED: [ ]

**SEAL:**  
NORTH CAROLINA PROFESSIONAL ENGINEER  
ROBERT P. BALLANTYNE  
031591  
04/02/19

**C-2.2**  
PEJ JOB#: 18152.PE





**CITY OF WILMINGTON**  
NORTH CAROLINA  
Public Services • Engineering Division  
APPROVED STORMWATER MANAGEMENT PLAN  
Date: 4-4-19 Permit # 2019004  
Signed: E.S. 20

**Approved Construction Plan**  
Name: YMC Date: 4-2-2019  
Planning: YMC  
Traffic: YMC  
Fire: C. Wal 4/3/19

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**STANDARD DETAIL**  
**GUIDELINES FOR PAVEMENT MARKINGS AND SYMBOLS**

DATE: OCTOBER, 2012  
DRAWN BY: JSR  
CHECKED BY: BDR, P.E.  
SCALE: NOT TO SCALE

**CITY OF WILMINGTON**  
NORTH CAROLINA  
CITY OF WILMINGTON ENGINEERING  
PO BOX 1810  
WILMINGTON, NC 28402  
(910) 341-7807

SD 11-03

**STANDARD DETAIL**  
**INSTALLATION DETAILS SHEET A1 OF 5**

DATE: NOVEMBER 8, 2016  
DRAWN BY: DALE THOMPSON  
CHECKED BY: RICHARD GLASER  
SCALE: NOT TO SCALE

**CITY OF WILMINGTON**  
NORTH CAROLINA  
CITY OF WILMINGTON ENGINEERING  
PO BOX 1810  
WILMINGTON, NC 28402  
(910) 341-7807

SD 15-09

**STANDARD DETAIL**  
**INSTALLATION DETAILS SHEET A2 OF 5**

DATE: NOVEMBER 8, 2016  
DRAWN BY: DALE THOMPSON  
CHECKED BY: RICHARD GLASER  
SCALE: NOT TO SCALE

**CITY OF WILMINGTON**  
NORTH CAROLINA  
CITY OF WILMINGTON ENGINEERING  
PO BOX 1810  
WILMINGTON, NC 28402  
(910) 341-7807

SD 15-09

**STANDARD DETAIL**  
**CURBING**

DATE: AUGUST, 2011  
DRAWN: PRZBL  
CHECKED: DEC  
SCALE: NOT TO SCALE

**CITY OF WILMINGTON**  
NORTH CAROLINA  
CITY OF WILMINGTON ENGINEERING  
PO BOX 1810  
WILMINGTON, NC 28402  
(910) 341-7807

SD 3-11

**STANDARD DETAIL**  
**PERPENDICULAR CURB RAMP ADJACENT TO WALKING SURFACE**

DATE: DECEMBER, 2008  
DRAWN: PRZBL  
CHECKED: DEC  
SCALE: NOT TO SCALE

**CITY OF WILMINGTON**  
NORTH CAROLINA  
CITY OF WILMINGTON ENGINEERING  
PO BOX 1810  
WILMINGTON, NC 28402  
(910) 341-7807

SD 3-10

**STANDARD DETAIL**  
**TREE PROTECTION DURING CONSTRUCTION**

DATE: JAN, 2015  
DRAWN BY: JSR  
CHECKED BY: RDO, P.E.  
SCALE: NOT TO SCALE

**CITY OF WILMINGTON**  
NORTH CAROLINA  
CITY OF WILMINGTON ENGINEERING  
PO BOX 1810  
WILMINGTON, NC 28402  
(910) 341-7807

SHEET 1 of 2  
SD 15-09

**STANDARD DETAIL**  
**TREE PROTECTION DURING CONSTRUCTION**

DATE: JAN, 2015  
DRAWN BY: JSR  
CHECKED BY: RDO, P.E.  
SCALE: NOT TO SCALE

**CITY OF WILMINGTON**  
NORTH CAROLINA  
CITY OF WILMINGTON ENGINEERING  
PO BOX 1810  
WILMINGTON, NC 28402  
(910) 341-7807

SHEET 2 of 2  
SD 15-09

**STANDARD DETAIL**  
**CROSSWALK PAVEMENT MARKINGS**

DATE: FEBRUARY, 2012  
DRAWN BY: JSR  
CHECKED BY: BDR, P.E.  
SCALE: NOT TO SCALE

**CITY OF WILMINGTON**  
NORTH CAROLINA  
CITY OF WILMINGTON ENGINEERING  
PO BOX 1810  
WILMINGTON, NC 28402  
(910) 341-7807

SD 11-11

**STANDARD DETAIL**  
**SIDEWALK**

DATE: OCTOBER, 2010  
DRAWN: PRZBL  
CHECKED: DEC  
SCALE: NOT TO SCALE

**CITY OF WILMINGTON**  
NORTH CAROLINA  
CITY OF WILMINGTON ENGINEERING  
PO BOX 1810  
WILMINGTON, NC 28402  
(910) 341-7807

SD 3-10

REVISIONS:

CLIENT INFORMATION:  
**SAWYER SHERWOOD & ASSOCIATE ARCHITECTURE**  
124 MARKET ST, WILMINGTON, NC 28403  
Wilmington, North Carolina 28403  
(910) 791-6707 (O) (910) 791-6760 (F)  
NC License #: C-2846

**PARAMOUNT ENGINEERING**  
122 Cinema Drive  
Wilmington, North Carolina 28403  
(910) 791-6707 (O) (910) 791-6760 (F)  
NC License #: C-2846

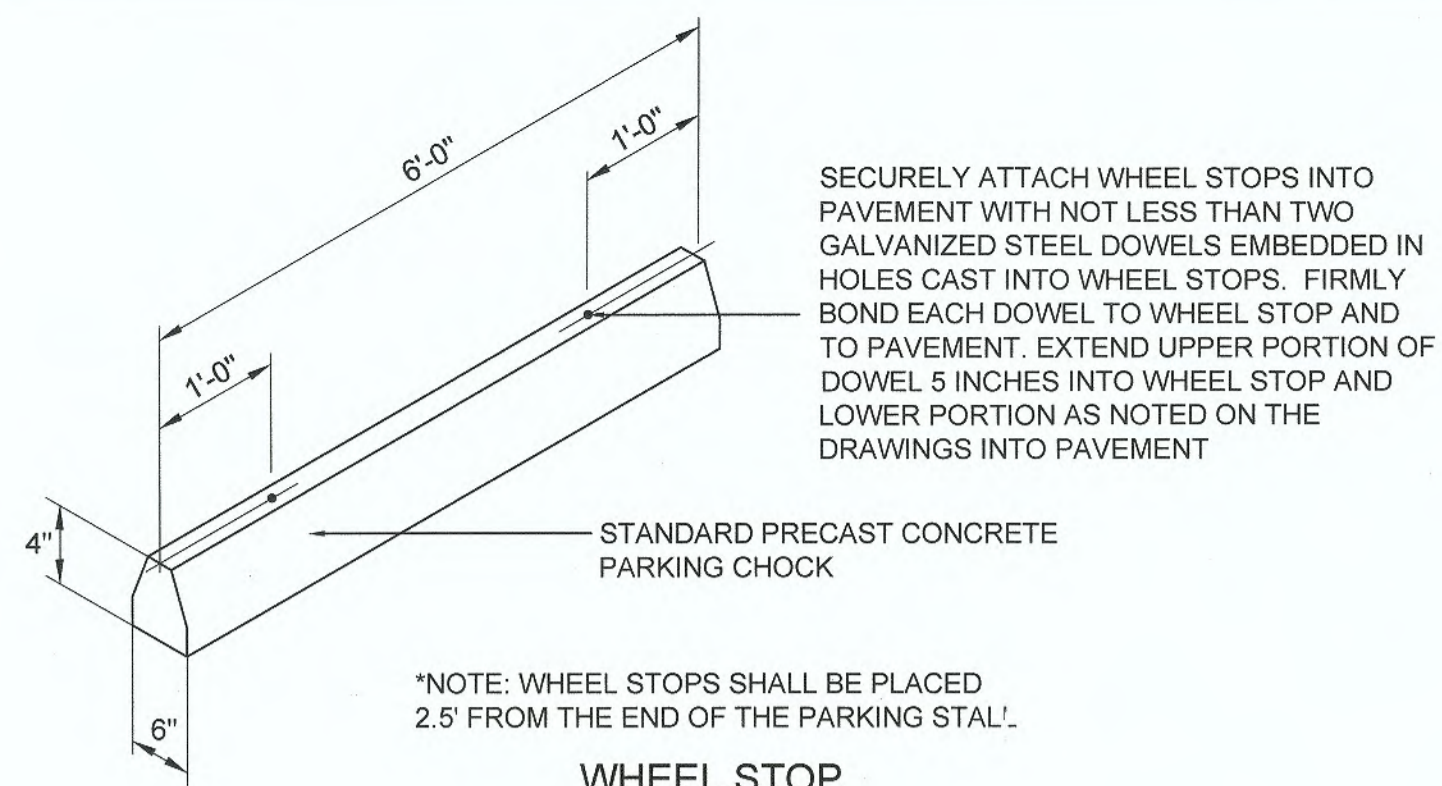
**DETAILS**  
WILMINGTON MUNICIPAL GOLF COURSE  
311 DONALD ROSS DRIVE  
WILMINGTON, NC 28409

PROJECT STATUS:  
CONCEPTUAL LAYOUT:  
PRELIMINARY LAYOUT:  
FINAL LAYOUT:  
RELEASED FOR CONSTRUCTION

DRAWING INFORMATION:  
DATE DESIGNED: 04/02/19  
DATE DRAWN: 04/02/19  
DESIGNED BY: R.P. BALDWIN  
DRAWN BY: R.P. BALDWIN  
CHECKED BY: R.P. BALDWIN

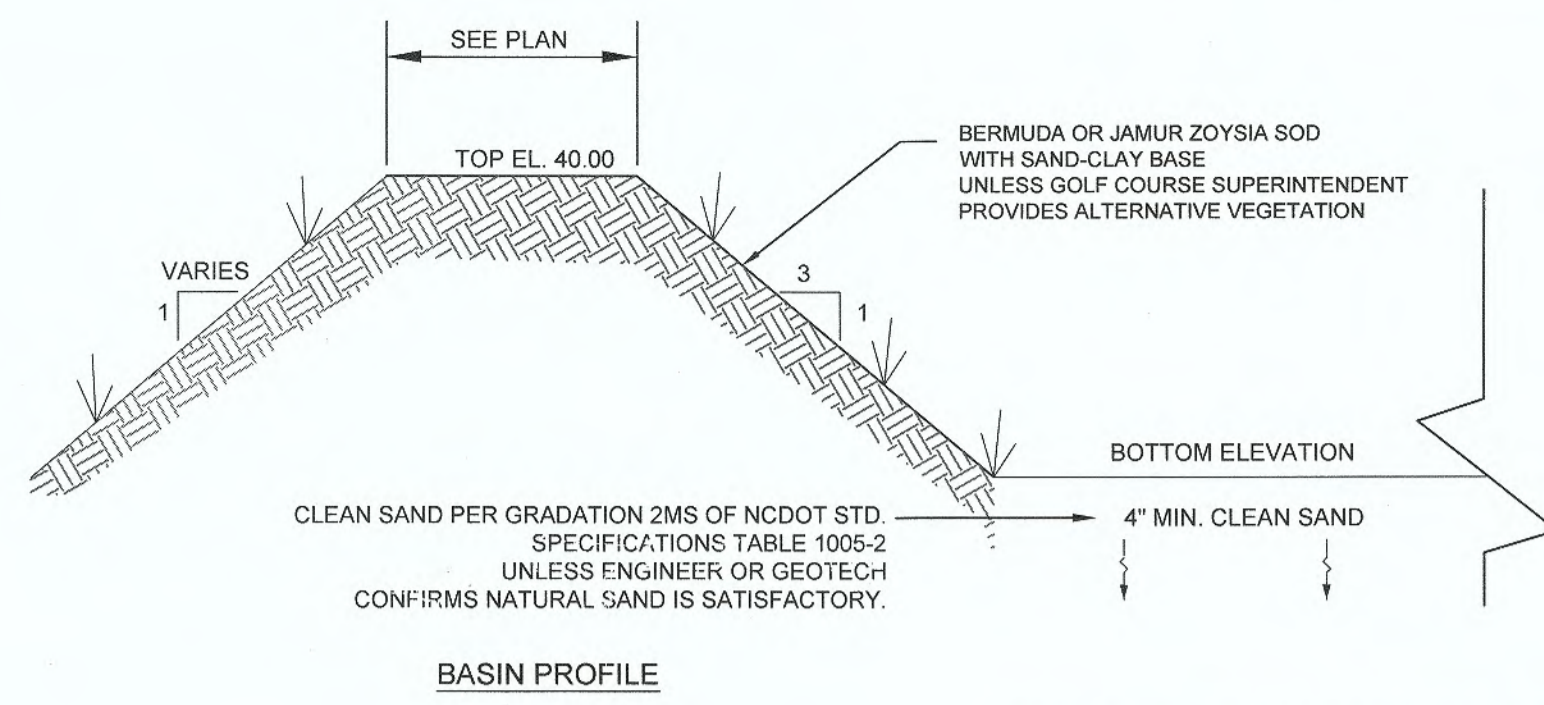
**C-4.0**  
PEI JOB#: 18152.PE

ISSUED FOR CONSTRUCTION



SECURELY ATTACH WHEEL STOPS INTO PAVEMENT WITH NOT LESS THAN TWO GALVANIZED STEEL DOWELS EMBEDDED IN HOLES CAST INTO WHEEL STOPS. FIRMLY BOND EACH DOWEL TO WHEEL STOP AND TO PAVEMENT. EXTEND UPPER PORTION OF DOWEL 5 INCHES INTO WHEEL STOP AND LOWER PORTION AS NOTED ON THE DRAWINGS INTO PAVEMENT

\*NOTE: WHEEL STOPS SHALL BE PLACED 2.5' FROM THE END OF THE PARKING STALL.  
WHEEL STOP  
NOT TO SCALE



BASIN PROFILE

**DRY DETENTION BASIN CONSTRUCTION NOTES**

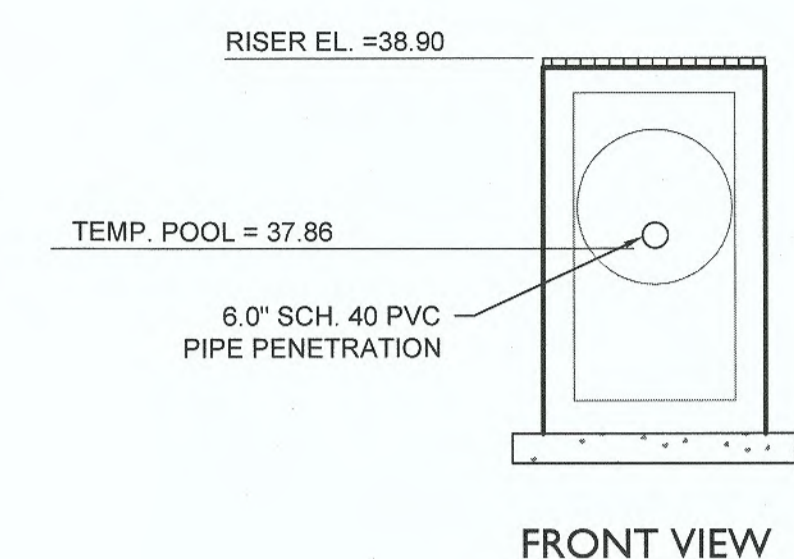
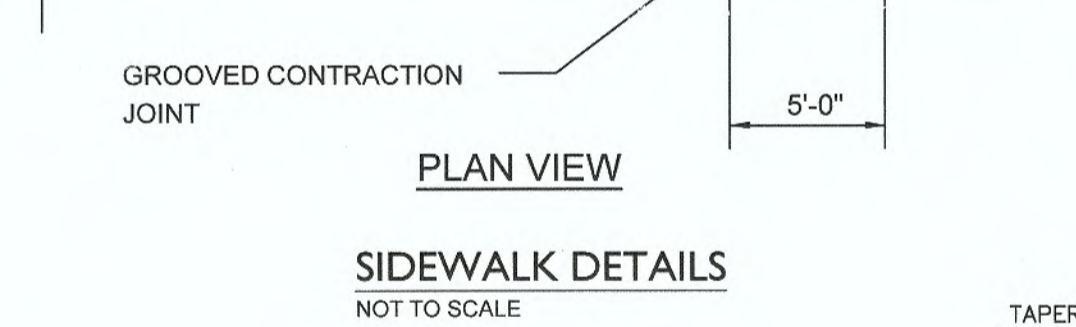
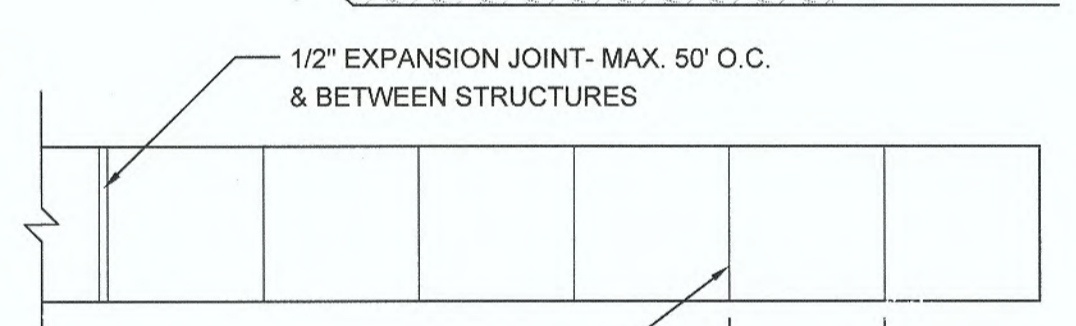
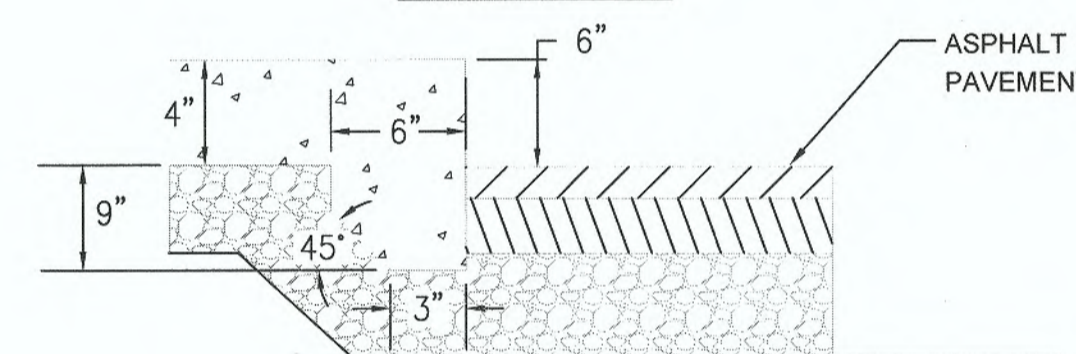
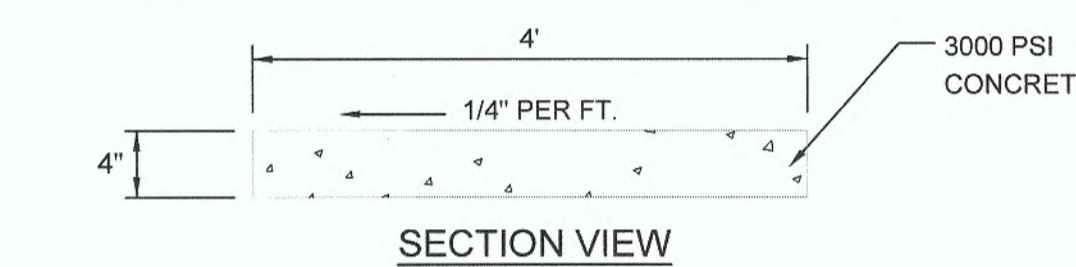
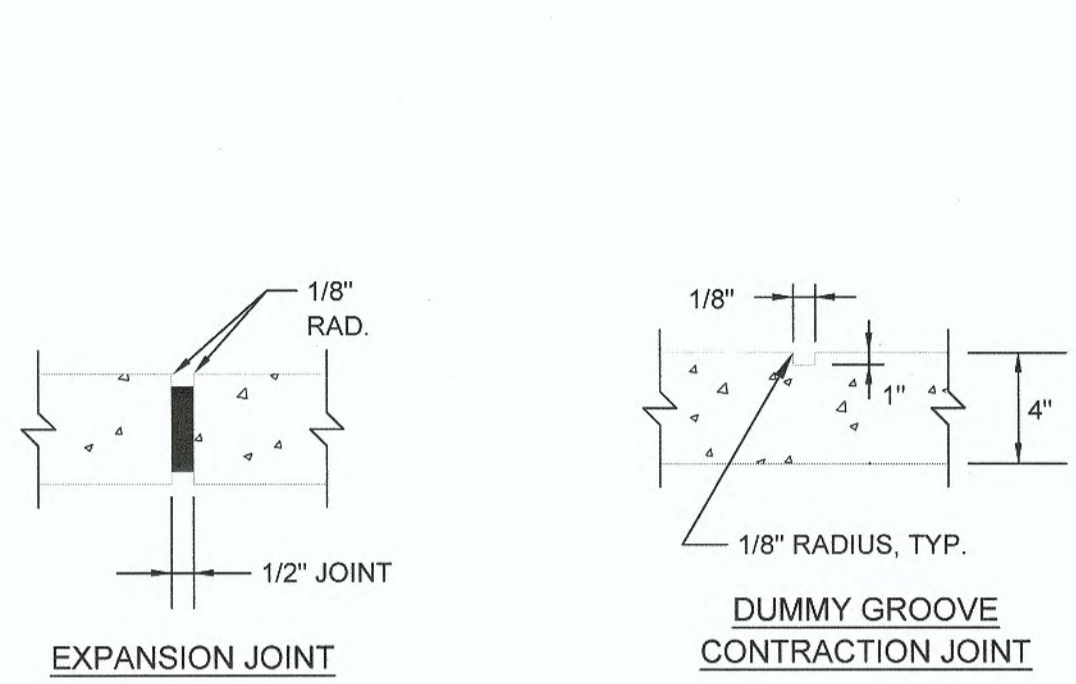
1. THE BOTTOM ELEVATION SHALL NOT BE COMPACTED AND DISTURBED AS MINIMAL AS POSSIBLE DURING CONSTRUCTION. IF THE ENGINEER FINDS 4-INCHES OF NATIVE CLEAN SANDS, THEN IMPORT MAY NOT BE NECESSARY.
2. IF HARDPAN OR OTHER UNSUITABLE SOILS ARE ENCOUNTERED, CONTACT THE ENGINEER FOR DETERMINATION OF SUITABLE BACKFILL MATERIAL.
3. THE DRY DETENTION BASIN SIDE SLOPES SHALL BE SEEDED OR SODDED PER THE SEEDING SCHEDULE IMMEDIATELY FOLLOWING FINISH GRADING.

**CITY OF WILMINGTON**  
NORTH CAROLINA  
Public Services • Engineering Division  
APPROVED STORMWATER MANAGEMENT PLAN  
Date: 4-4-19 Permit # 2019004  
Signed: E.S.O.E.

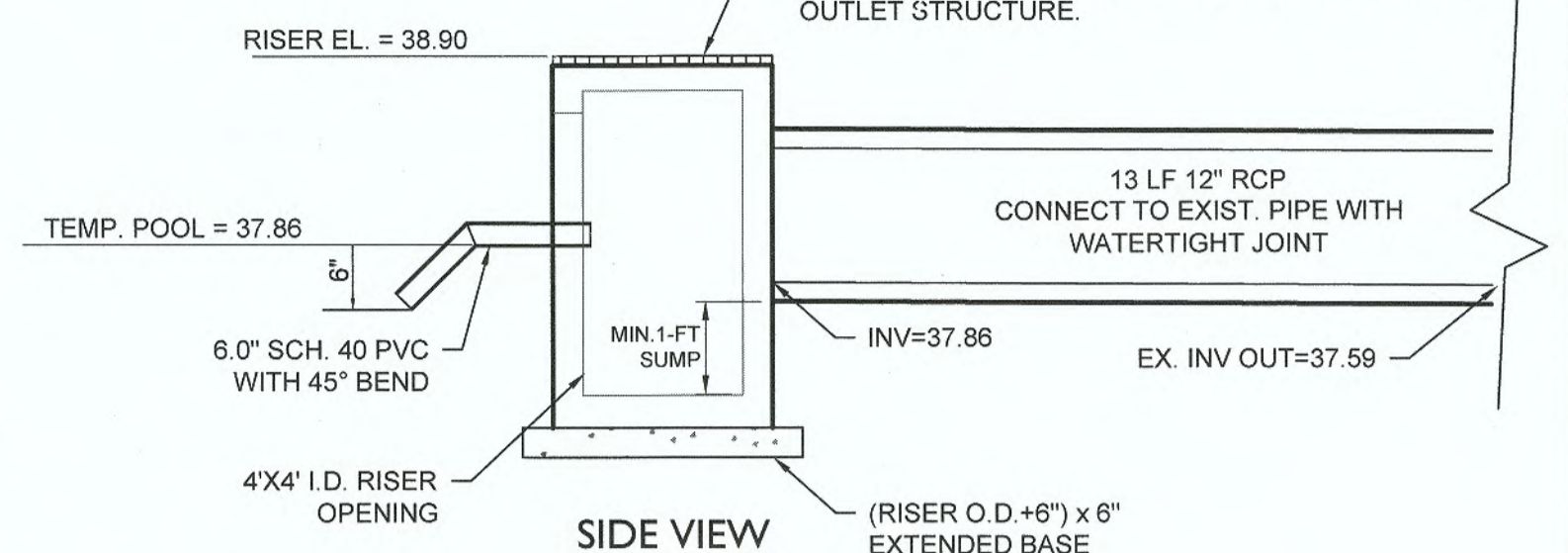
**Approved Construction Plan**  
Name: UMC 4-2-2019  
Date: 4-2-19  
Traffic: W. J. ...  
Fire: C. ...

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**DRY DETENTION BASIN DETAILS**  
NOT TO SCALE

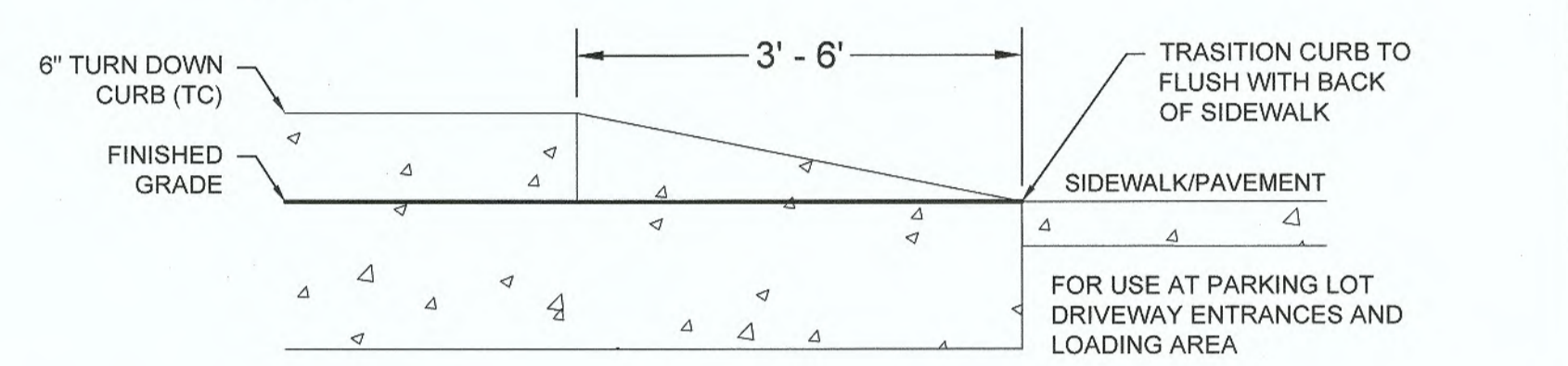


FRONT VIEW

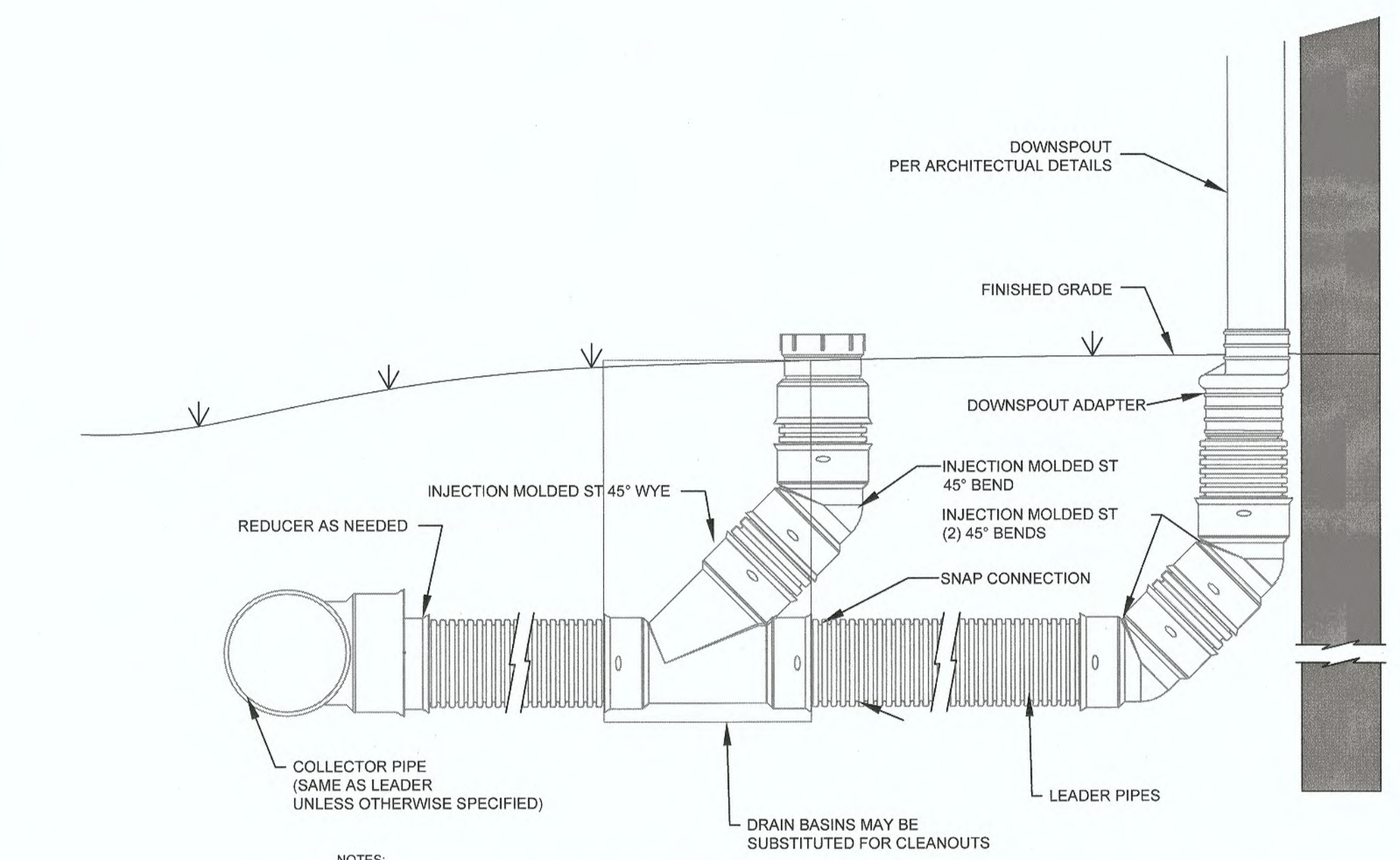
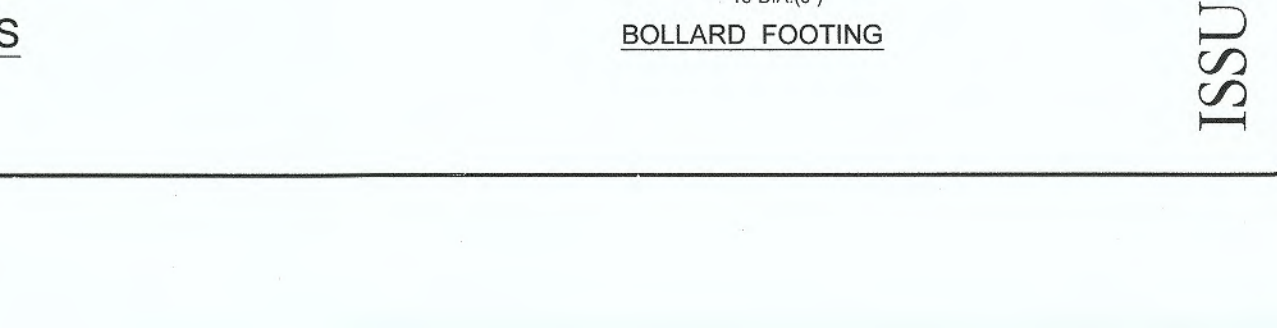
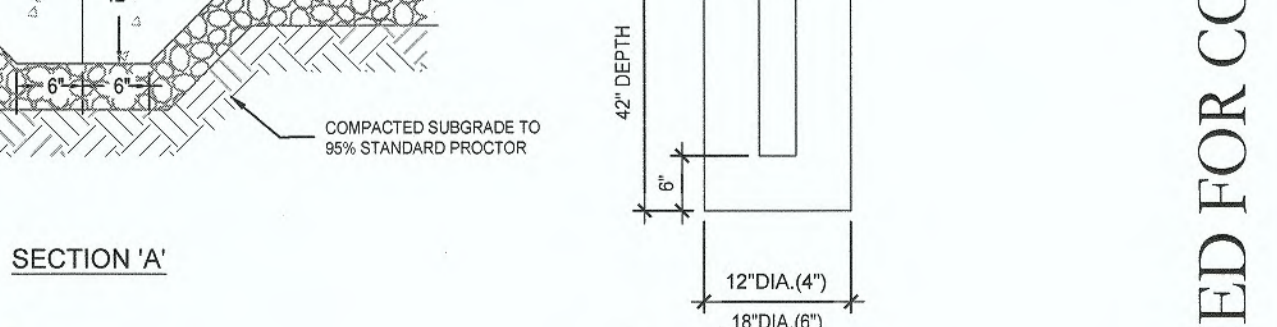
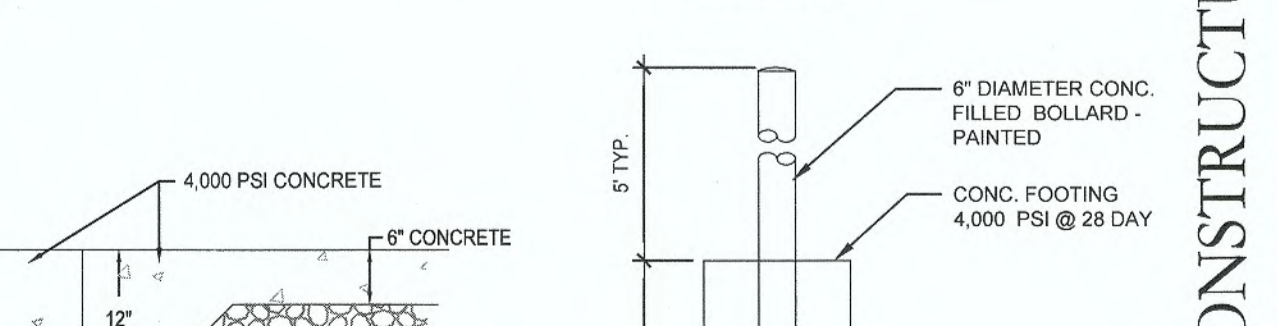
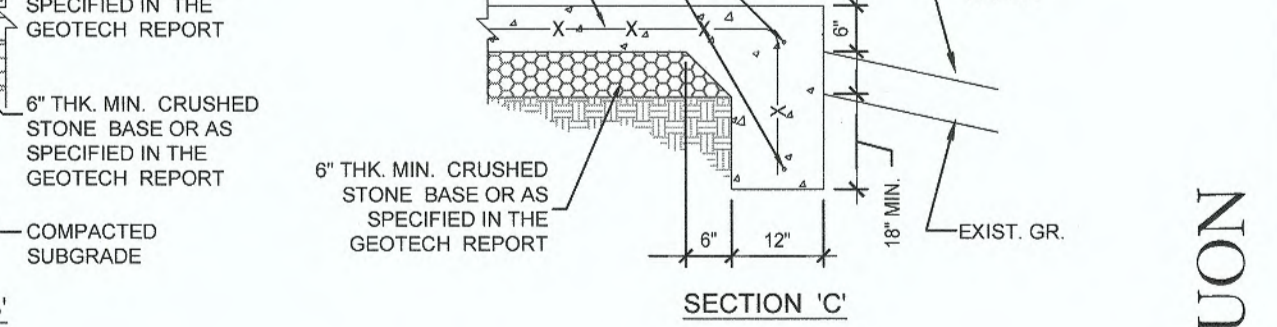
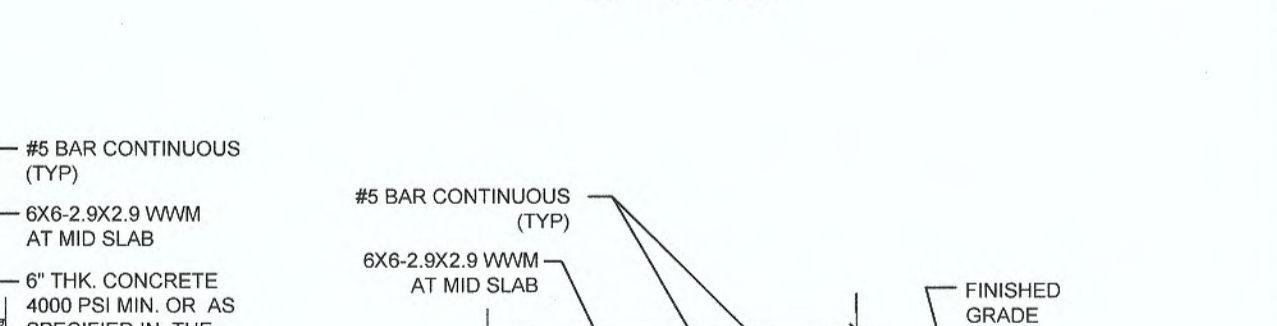
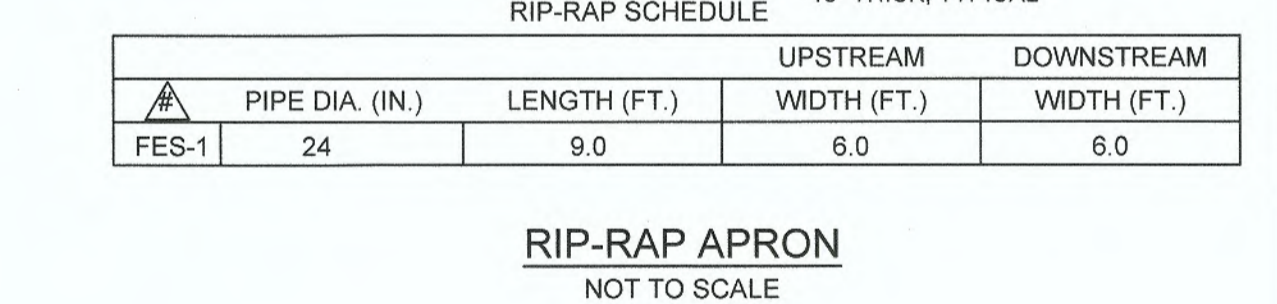
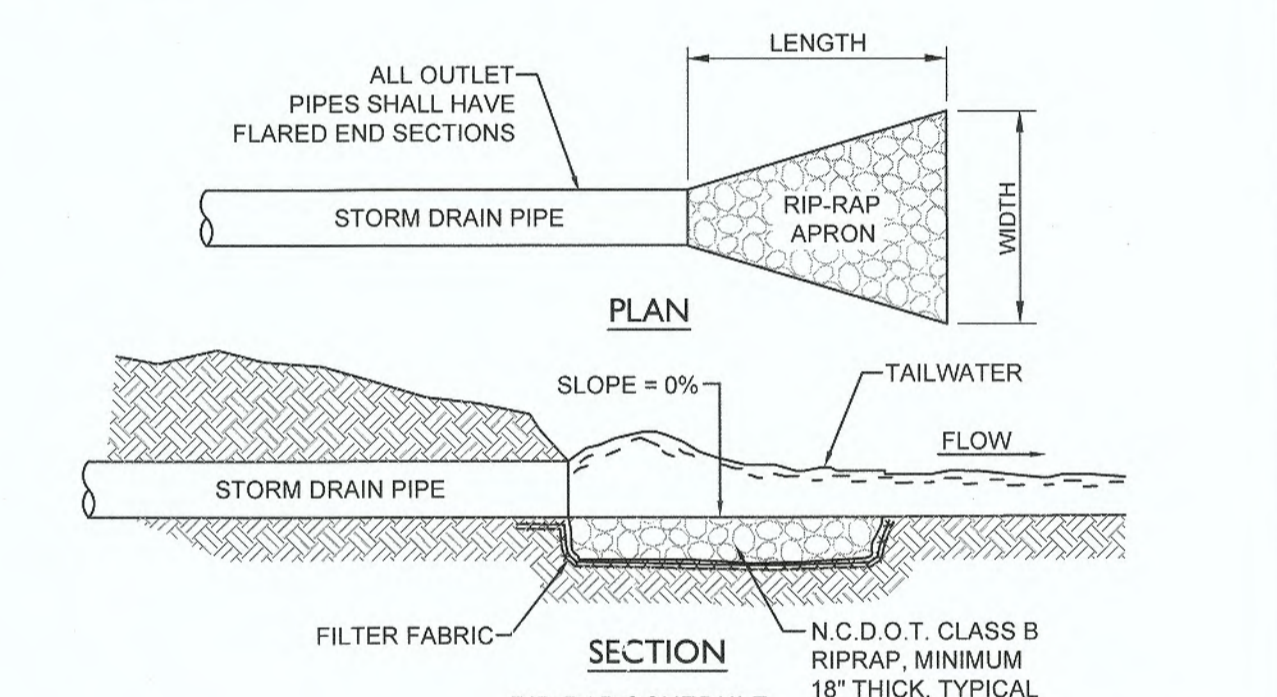


SIDE VIEW

**OUTLET STRUCTURE DETAIL**  
NOT TO SCALE



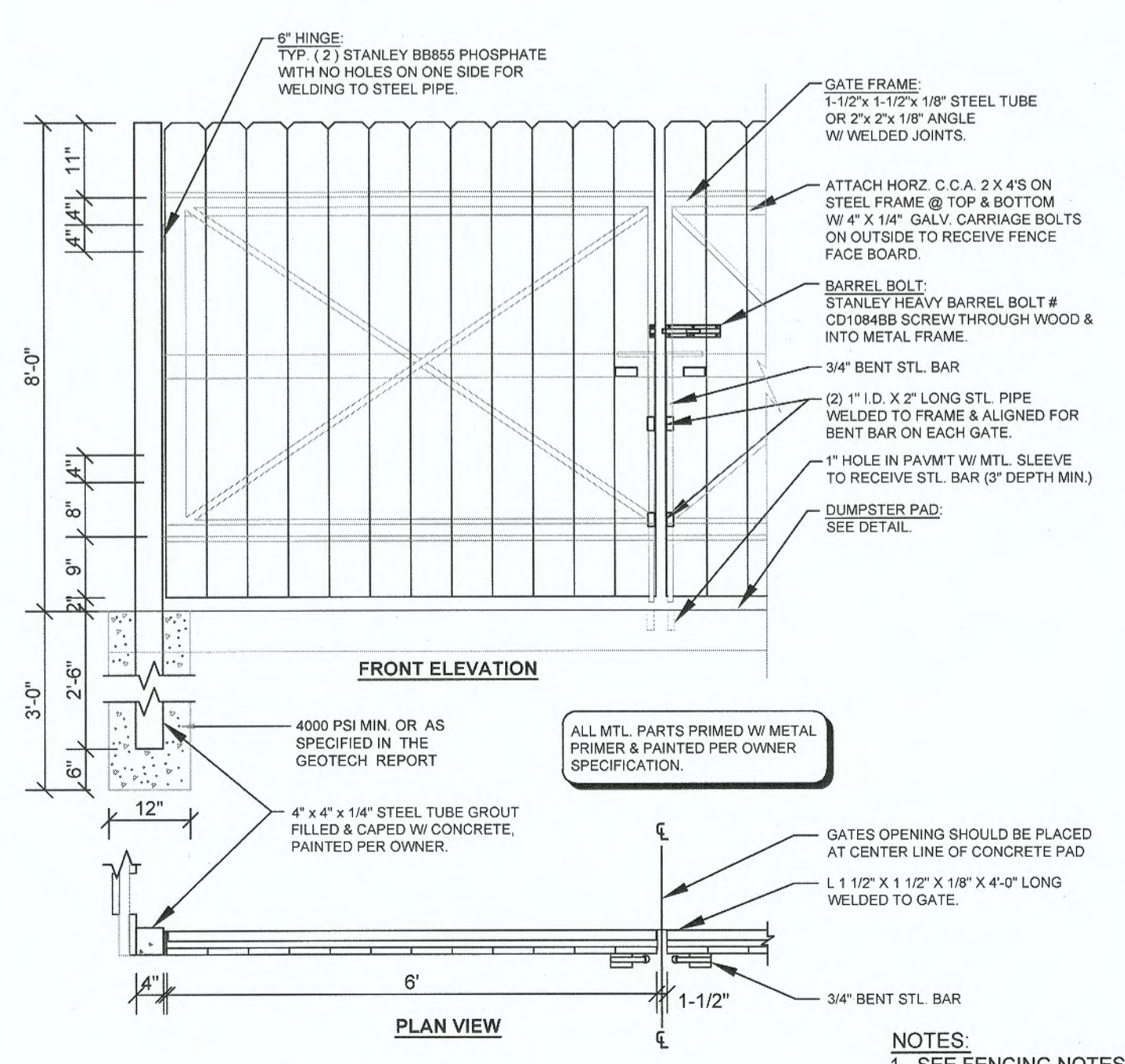
**CURB TAPER**  
NOT TO SCALE



- NOTES:**
- 1) FOR ALL DEPTHS OF COVER LESS THAN TWO (2) FEET, PIPE MUST BE SCHEDULE 40 PVC. FOR DEPTHS OF COVER GREATER THAN TWO (2) FEET, FLEXIBLE PIPE MAY BE USED.
  - 2) THE DOWNSPOUT COLLECTOR DRAIN SHALL BE INSTALLED BEFORE THE DOWNSPOUTS ARE INSTALLED ON THE BUILDING. SITE WORK CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE PIPE LOCATIONS WITH DOWNSPOUTS PER THE ARCHITECTURE PLANS. BUILDING CONTRACTOR IS NORMALLY RESPONSIBLE FOR EXTENDING DOWNSPOUT THROUGH CAP.
  - 3) INSTALL PIPES CLEAR OF PORCHES, BOLLARDS, AND OTHER BUILDING APPURTENANCES.
  - 4) POP-UP DRAIN EMITTERS MAY BE USED AT THE END OF LEADER PIPES AS LONG AS WATER DRAINS TOWARD THE PERMITTED STORMWATER DEVICE AFTER SURFACING.
  - 5) STONE MAY BE ADDED AROUND PIPES FOR SOIL DRAINAGE AS WELL AS PIPE STRUCTURAL STABILITY.

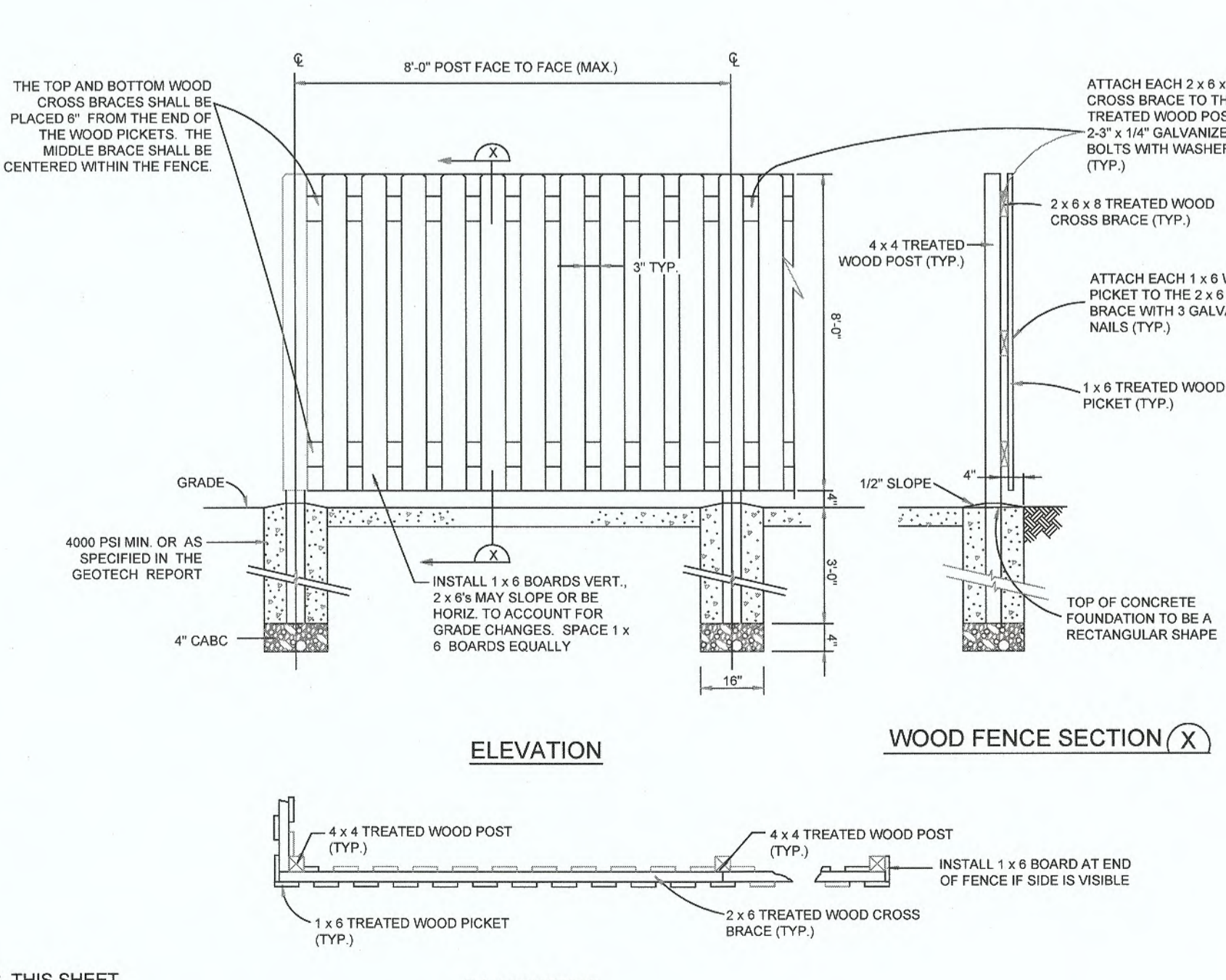
Downspout	Leader Pipe
2" x 3"	6" Dia.
3" x 4"	8" Dia.
4" x 5"	8" Dia.
5" x 5"	8" Dia.
6" x 6"	12" Dia.
3/4" Dia.	6" Dia.
5/8" Dia.	8" Dia.

**TYPICAL ROOF DRAINAGE WITH CLEANOUT**  
NOT TO SCALE



FRONT ELEVATION

PLAN VIEW

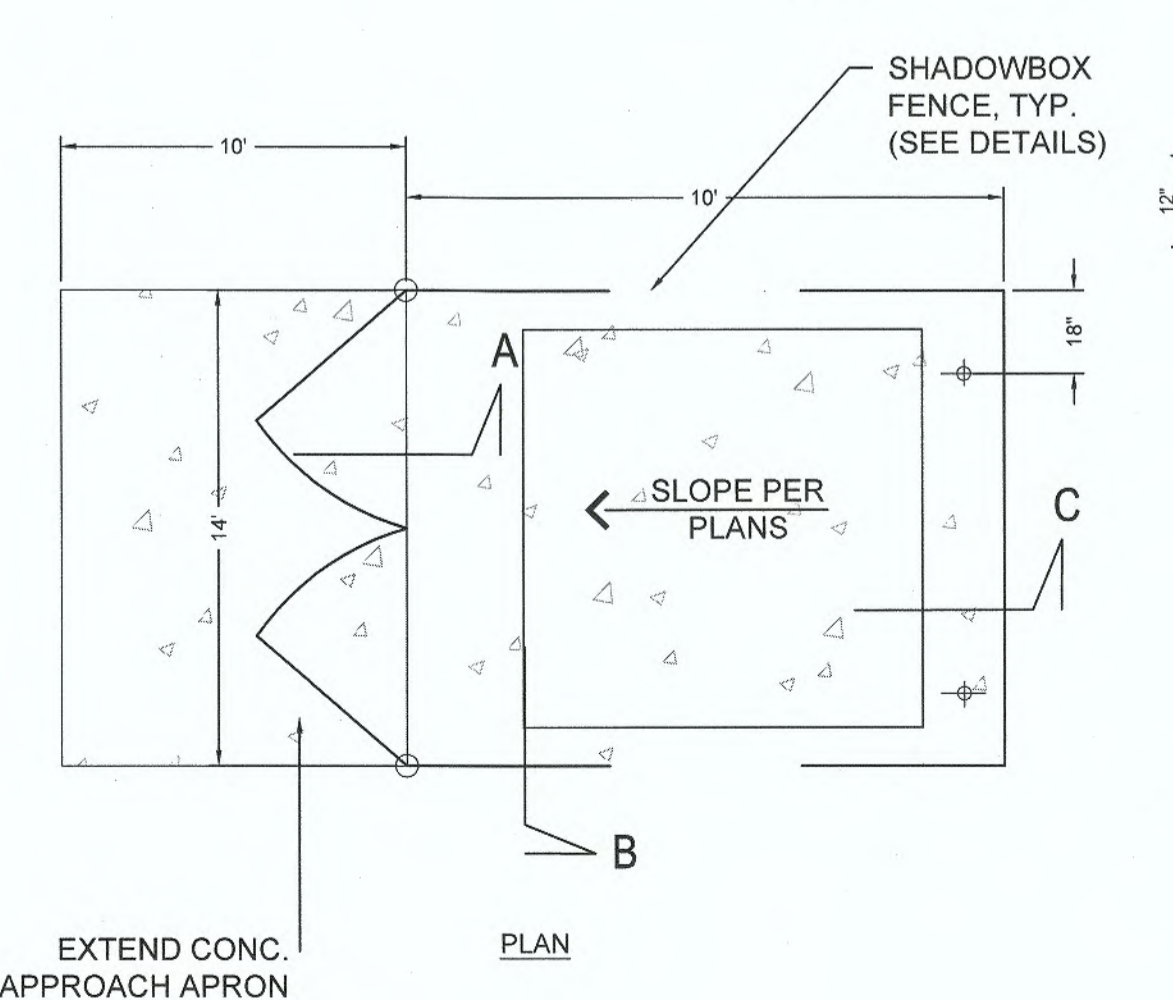


ELEVATION

WOOD FENCE SECTION (X)

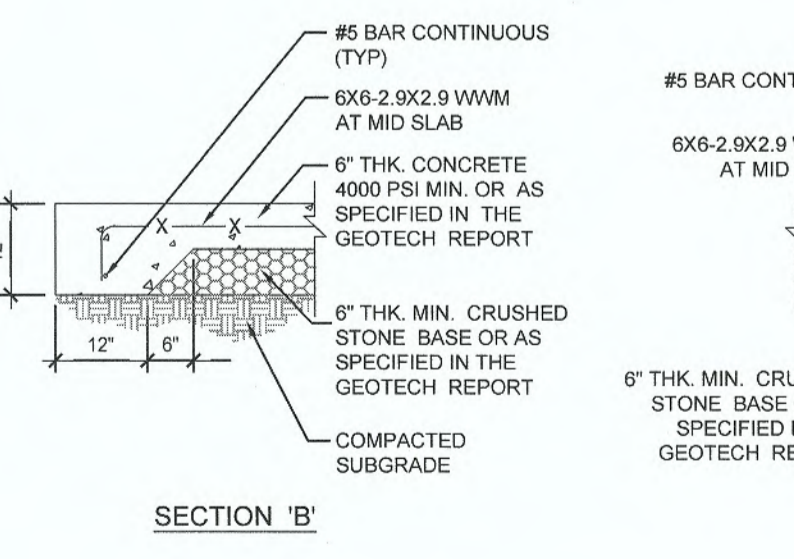
PLAN VIEW

**HANDICAP CURB ACCESS RAMP AND MARKINGS DETAIL**  
N.T.S.

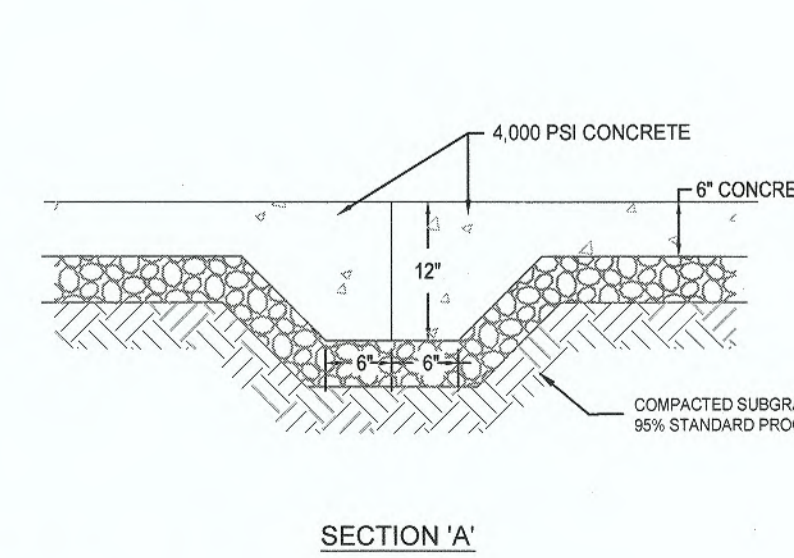


EXTEND CONC. APPROACH APRON

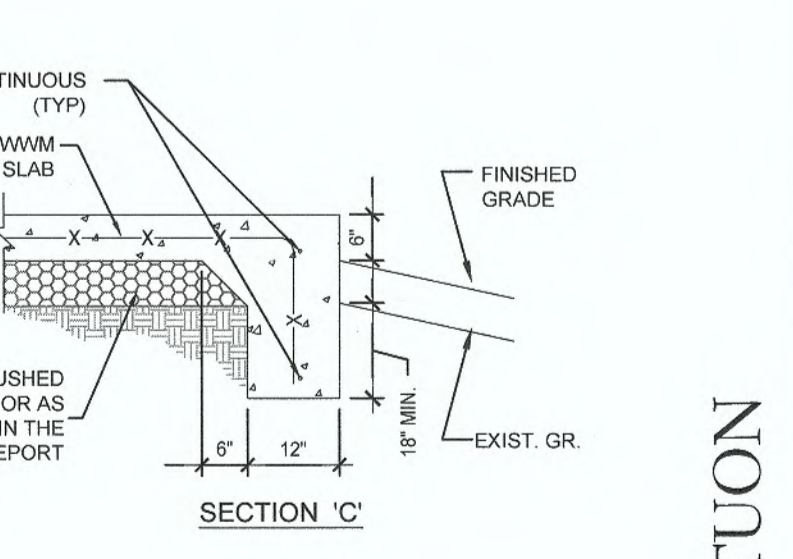
PLAN



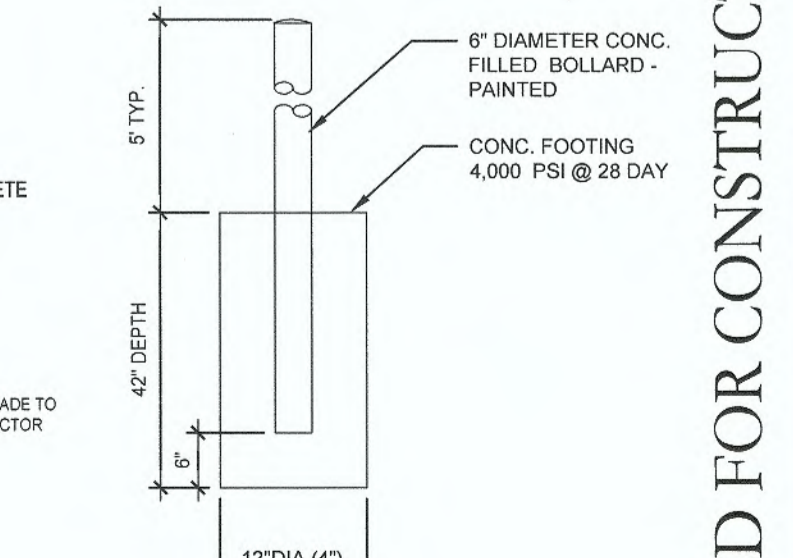
SECTION B'



SECTION A'



SECTION C'



BOLLARD FOOTING

**DUMPSTER PAD DETAILS**  
NOT TO SCALE

REVISIONS:

CLIENT INFORMATION:  
**SAWYER SHERWOOD & ASSOCIATE ARCHITECTURE**  
124 MARKET ST, WILMINGTON, NC 28403

**PARAMOUNT ENGINEERING**  
122 Cinema Drive  
Wilmington, North Carolina 28403  
(910) 791-6707 (O) (910) 791-6760 (F)  
NC License #: C-2846

**DETAILS**  
WILMINGTON MUNICIPAL GOLF COURSE  
311 DONALD ROSS DRIVE  
WILMINGTON, NC 28409

PROJECT STATUS:  
CONCEPTUAL LAYOUT:  
PRELIMINARY LAYOUT:  
FINAL DESIGN:  
RELEASED FOR CONSTRUCTION

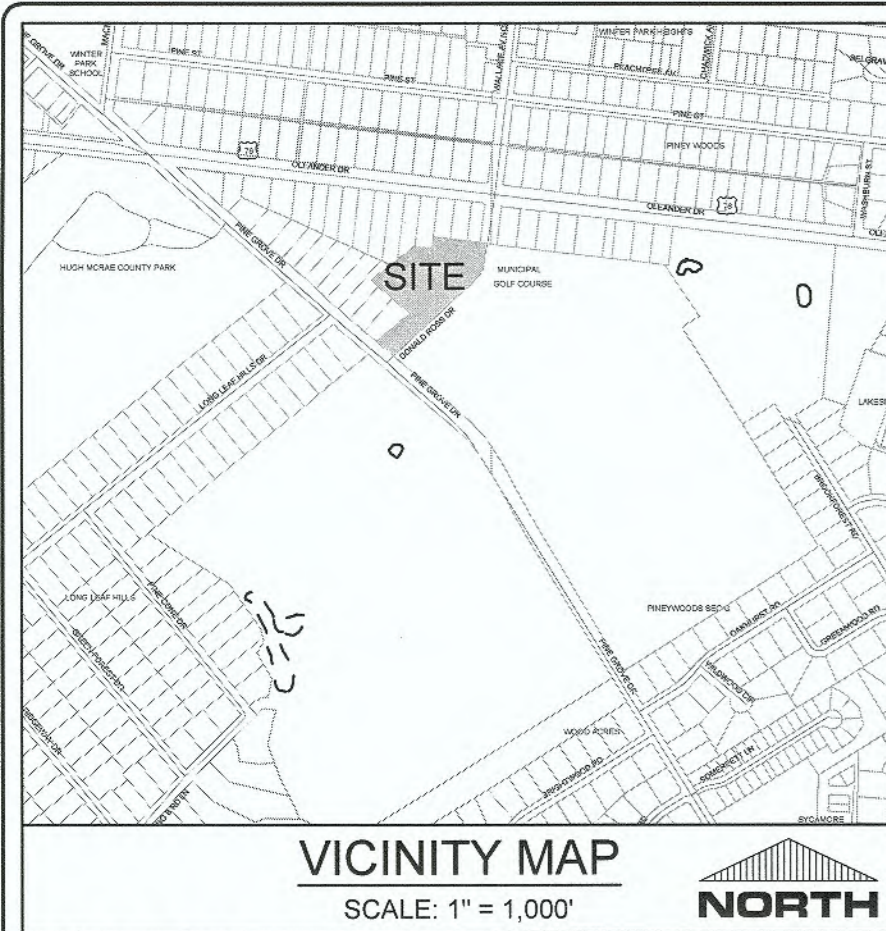
DRAWING INFORMATION:  
DATE: 04/02/19  
SCALE: AS SHOWN  
DRAWN: R.P.B.  
CHECKED: R.P.B.

SEAL:  
NORTH CAROLINA PROFESSIONAL ENGINEER  
ROBERT P. BARNETT  
04/02/19

**C-4.1**  
PEI JOB#: 18152.PE

ISSUED FOR CONSTRUCTION





**VICINITY MAP**  
SCALE: 1" = 1,000'

**SITE DATA TABULATION**

**APPLICANT:** CITY OF WILMINGTON  
102 NORTH THIRD STREET, P.O. BOX 1810  
WILMINGTON, NC 28402

**PROPERTY OWNER:** CITY OF WILMINGTON  
102 NORTH THIRD STREET, P.O. BOX 1810  
WILMINGTON, NC 28402

**PROJECT ADDRESS:** WILMINGTON MUNICIPAL GOLF COURSE  
311 DONALD ROSS DRIVE  
WILMINGTON, NC 28409

**TAX PARCEL IDENTIFICATION #:** R06100-004-001-000  
**RECORDED DEED BOOK:** BK 252, PG 142  
**TOTAL PROJECT AREA (SUBJECT AREA):** 4.6 ACRES (200,940 SF)  
**CURRENT ZONING:** R-15-RESIDENTIAL DISTRICT  
**CAMA LAND USE CLASSIFICATION:** URBAN AND WATERSHED RESOURCE PROTECTION  
**MAXIMUM ALLOWABLE BUILDING HEIGHT:** 35 FEET  
**EXISTING LAND USE:** GOLF COURSE  
**PROPOSED LAND USE:** GOLF COURSE  
**LAND USE CODE:** 797-REGREATIONAL (PUBLIC/NON-PARK)

**LANDSCAPE CALCULATIONS:**

**STREET YARD LANDSCAPING - Sec. 18-477**

Donald Ross Dr 83 LF - 24' Drive = 59 LF * 12' = 708 SF	REQ'D 708 SF	PROV 708 SF
708 SF / 600 SF = 1.18		
1 CANOPY / 600 SF 6 SHRUBS / 600 SF	2 12	1 (+1 Existing) 72 sf
Sidewalk in Streetyard	15% max (106.2 sf)	10.1% (72 sf)

**PARKING LOT LANDSCAPING**

**Interior Area Landscaping - Sec. 18-481**  
55,035 SF \* 20% SHADING  
15 TREES @ 707 SF EACH = 10,605 SF  
EXISTING CANOPY SHADE = 5,203 SF

**Parking Area Screening - Sec. 18-483**

Perimeter Buffer to Count as Required Screening

**Foundation Planting - Sec. 18-490**

60' L x 15' H = 900 SF \* 12% = 72 SF

**BUFFER YARDS - Sec. 18-503**

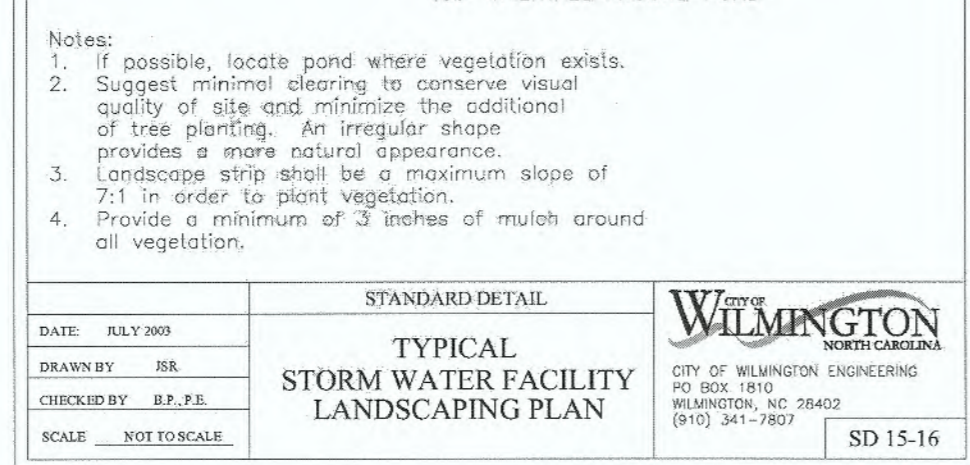
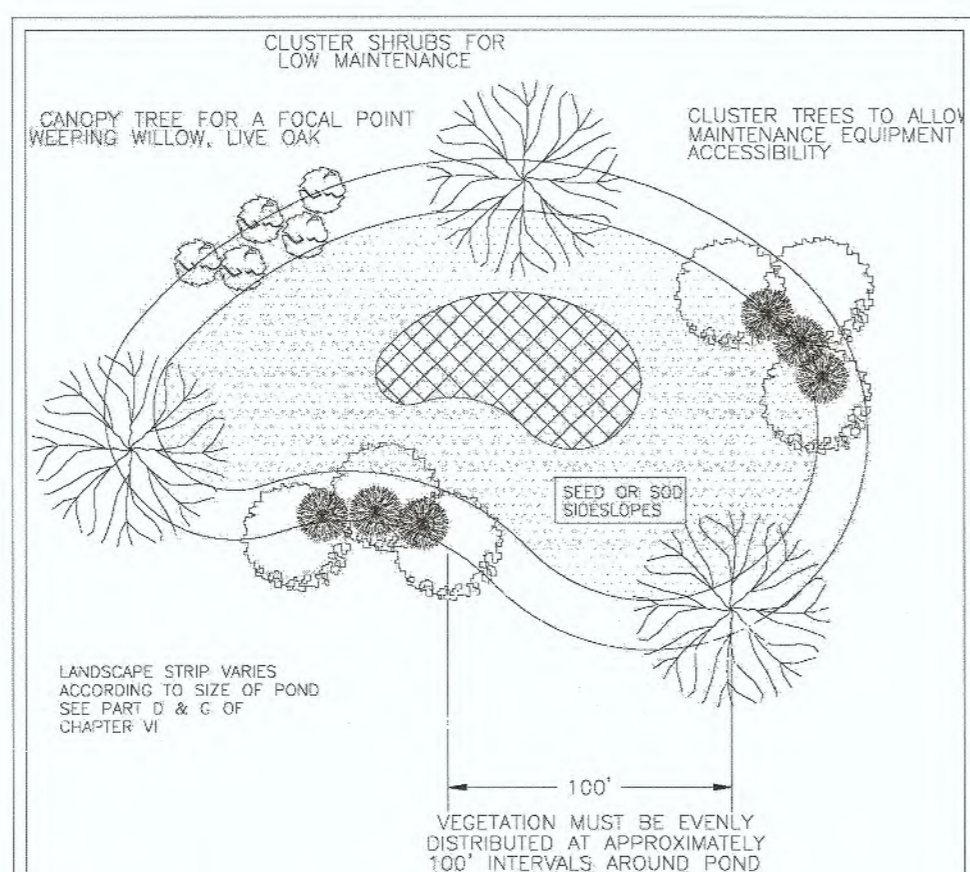
Buffer shrub planting shown on plan to be installed where existing vegetation does not provide 100% opacity from the ground to 6' height. Existing trees with 100% canopy coverage of buffer to satisfy buffer tree requirement.

**OVERALL SITE TREE PLANTING REQUIREMENTS**

4.75 AC * (15) 2.5" TREES / AC = 71.25	REQ'D 72	PROV 268 sf
REQUIRED MITIGATION TREES	17	
	89 TOTAL	
TREE PLANTING (BUFFER, STREET YARD, PARKING LOT)		18
RETAINED TREE CREDIT		137
		155 TOTAL

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE
	RBO	2	Cercis canadensis 'Oklahoma' Oklahoma Redbud	8' - 10' H
	LO2	16	Quercus virginiana Southern Live Oak	2.5" cal
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER
	AZF3	143	Azalea l. 'Formosa' Formosa Azalea	3' HT min.
	DYH	258	Ilex vomitoria 'Nana' Dwarf Yaupon	3 gal - 12" x 12"
	MC	98	Myrica corifera Wax Myrtle	3' HT min.

**PLANTING NOTES:**  
1. ALL PLANT BEDS SHALL RECEIVE PINE STRAW MULCH 3" DEPTH MIN. - 4" DEPTH MAX  
2. SEED ALL DISTURBED AREAS OUTSIDE OF MULCH AREAS WITH BERMUDA 'BLACKJACK'



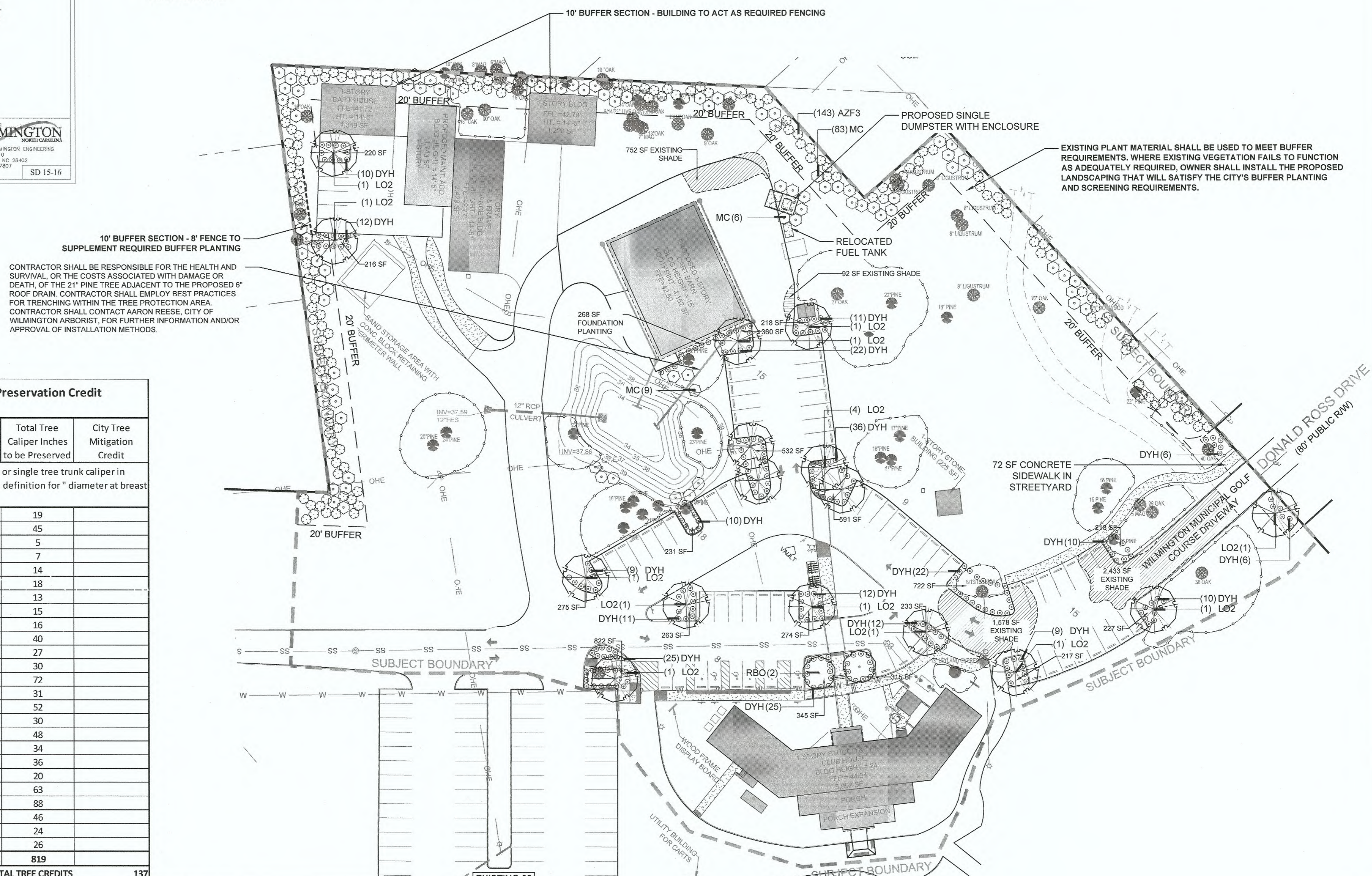
**LANDSCAPE NOTES:**

- CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- TREES SHALL BE LOCATED A MINIMUM OF 5 FEET FROM SEWER/WATER CONNECTIONS OR AS OTHERWISE DICTATED BY LOCAL REGULATIONS. CONTRACTOR SHALL BE LIABLE FOR DAMAGE TO ANY AND ALL PUBLIC OR PRIVATE UTILITIES.
- ALL PLANT MATERIAL SHALL MEET THE CURRENT VERSION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARDS.
- NO TREE, OTHER THAN THOSE SHOWN ON APPROVED PLANS FOR REMOVAL WITH THESE PLANS AND/OR TREE REMOVAL PERMIT PLANS, SHALL BE REMOVED WITHOUT WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. ALL SHRUB BEDS AND/OR PLANTING AREAS EXCLUDING TURF AREAS SHALL BE MULCHED WITH 3 INCH MINIMUM AND 4 INCH MAXIMUM DEPTH PINE STRAW MULCH UNLESS OTHERWISE NOTED.
- ALL PLANTS, 4 FEET OR LESS APART, WILL BE CONNECTED IN ONE PLANTING BED. ALL GROUPS OF PLANTS SHOULD BE WITHIN ONE PLANTING BED WITH THE EDGE OF MULCH EXTENDING 2 FEET BEYOND THE EDGE OF PLANT MASS. SINGLE TREES SHOULD HAVE A CIRCLE OF MULCH NOT LESS THAN 5 FEET DIAMETER.
- PLANTING SOIL MIX: MIX EXISTING SOIL WITH THE SOIL AMENDMENTS AND FERTILIZERS IN THE QUANTITIES RECOMMENDED BY THE SOIL TESTING LABORATORY, THIRD PARTY RECOGNIZED BY THE STATE DEPARTMENT OF AGRICULTURE OR AS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- ANY AND ALL SUBSTITUTIONS OF PLANT MATERIAL SHALL BE APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. FAILURE IN OBTAINING APPROVAL MAY RESULT IN LIABILITY TO THE CONTRACTOR.
- THE CONTRACTOR SHALL REPLACE DEAD AND/OR UNHEALTHY PLANT MATERIAL WITHIN 12 MONTHS OF ACCEPTANCE OF THE INSTALLED MATERIAL FROM THE OWNER OR OWNER'S REPRESENTATIVE.

- THE CONTRACTOR SHALL PREPARE ALL SEEDED OR SODDED AREAS TO ASSURE THAT THE SUBGRADE HAS BEEN RAKED AND ROLLED TO ACCEPT THE SOD/SEED. ALL SOD/SEED AREAS MUST BE IRRIGATED OR HAND WATERED. ALL SOD SHALL BE PLACED WITH STAGGERED JOINTS AND NO GAPS BETWEEN SOD JOINTS. SOD SHOULD BE ROLLED AFTER INSTALLATION. ALL SEEDED AND/OR SODDED AREAS SHOULD PROVIDE A SMOOTH SURFACE FREE OF DIPS AND UNLEVEL GROUND.
- IRRIGATION SHALL BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATION CONTRACTOR IN THE STATE OF NORTH CAROLINA.
- THE CONTRACTOR IS RESPONSIBLE FOR HAND WATERING THE INSTALLED PLANT MATERIAL FOR A PERIOD OF 6 MONTHS FROM THE ACCEPTANCE FROM THE OWNER OR OWNER'S REPRESENTATIVE IF IRRIGATION HAS NOT BEEN INSTALLED AT THE TIME OF SUBSTANTIAL COMPLETION. ALL MATERIAL INCLUDING SOD AND SEEDED AREAS SHALL BE HAND WATERED ONCE WEEKLY OR AS NEEDED TO ENSURE SURVIVAL OF PLANTS.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING TRASH, DEBRIS AND EXCESS MATERIALS FROM THE JOB SITE ONCE THE PROJECT IS COMPLETE. SECURING ANY MATERIALS LEFT ON SITE DURING THE COURSE OF THE PROJECT IS THE CONTRACTOR'S RESPONSIBILITY.
- ALL DISTURBED AREAS NOT DESIGNATED FOR SOD SHALL BE SEEDED.
- ALL VEGETATION PROPOSED WITHIN SIGHT DISTANCE AREAS AND LANDSCAPE ISLANDS ADJACENT TO DRIVE AISLES, SIDEWALKS, AND CROSSWALKS, SHALL NOT INTERFERE WITH SIGHT DISTANCE FROM 30' TO 10'.
- PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING SHALL BE INSTALLED. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN TREE PROTECTION FENCING.

**LEGEND:**

	SPILL GUTTER
	PROPOSED HEAVY DUTY ASPHALT
	PROPOSED BUILDING
	PROPOSED CONCRETE
	PROPOSED CHAIN LINK FENCE
	PROPOSED TREE LINE
	PROPOSED LIGHT POLE
	PROPOSED STREETYARD BUFFER
	PROPOSED TREE PROTECTION FENCE
	EXISTING TREE TO REMAIN



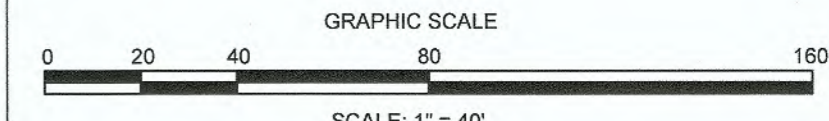
Qty of Trees	Caliper Inches *	Tree Common Name	Total Tree Caliper Inches to be Preserved	City Tree Mitigation Credit
1	19	HOLLY	19	
1	45	LIVE OAK (MULTI TRUNK 9,14,22)	45	
1	5	MAGNOLIA	5	
1	7	MAGNOLIA	7	
1	14	MAGNOLIA	14	
2	9	OAK	18	
1	13	OAK	13	
1	15	OAK	15	
1	16	OAK	16	
2	20	OAK	40	
1	27	OAK	27	
1	30	OAK	30	
2	36	OAK	72	
1	31	OAK (MULTI TRUNK 13,18)	31	
1	52	OAK (MULTI TRUNK 8,13,15,16)	52	
2	15	PINE	30	
3	16	PINE	48	
2	17	PINE	34	
2	18	PINE	36	
1	20	PINE	20	
3	21	PINE	63	
4	22	PINE	88	
2	23	PINE	46	
1	24	PINE	24	
1	26	PINE	26	
<b>TOTAL CALIPER INCHES RETAINED ON SITE</b>			<b>819</b>	
<b>TOTAL TREE CREDITS</b>				<b>137</b>

Qty of Trees	Caliper Inches*	Individual Trunk Calipers AND Individual Cluster	Tree Common Name	City Tree Type Classification	Total Cal. Inches to be Removed	% Mitigation	Essential Site Improvement	Total Qty. of Mitigation Trees Required
<b>Municipal Golf Course Expansion Tree Removal &amp; Required Mitigation</b>								
Note: * All listed as total caliper inches for entire tree cluster or single tree trunk caliper in compliance with City of Wilmington Land Development Code definition for " diameter at breast height"								
<b>Essential Site Improvements: It is anticipated that all trees will be removed for essential site improvements, so only significant trees require mitigation</b>								
<b>SIGNIFICANT TREES</b>								
<b>Category 1 (100% Mitigation)</b>								
1	25		OAK (LAUREL OAK)	hardwood	25	100%	Yes	17
<b>Total Category 1 Significant Trees To Be Removed with Essential Site Improvements:</b>								<b>17</b>
<b>REGULATED TREES</b>								
<b>Category 1 (100% Mitigation)</b>								
1	8		OAK (LIVE OAK)	hardwood	8	100%	Yes	0
1	9		OAK (LIVE OAK)	hardwood	9	100%	Yes	0
2	9		PINE (LONG LEAF)	conifer	18	100%	Yes	0
2	20		PINE (LONG LEAF)	conifer	40	100%	Yes	0
1	23		PINE (LONG LEAF)	conifer	18	100%	Yes	0
<b>Total Category 1 Regulated Trees Mitigation Required:</b>								<b>0</b>
<b>Total Category 1 Regulated Trees To Be Removed with Essential Site Improvements:</b>								<b>7</b>
<b>Total Qty. of Significant Tree Mitigation Required:</b>								<b>17</b>
<b>Total Tree Credits:</b>								<b>137</b>
<b>Total Qty. of Mitigation Trees Required on Site (or Pay in Lieu Equivalent):</b>								<b>-120</b>

**WILMINGTON**  
NORTH CAROLINA  
Public Services • Engineering Division  
APPROVED STORMWATER MANAGEMENT PLAN  
Date: 4-19-19 Permit # 2019004  
Signed: S. S. 20

**Approved Construction Plan**  
Name: YMC Date: 4-2-2019  
Traffic: W. Sullivan 4-2-19  
Fire: C. White 4/3/19

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



REVISIONS:

CLIENT INFORMATION:  
**PARAMOUNT ENGINEERING**  
122 Cinema Drive  
Wilmington, North Carolina 28403  
(910) 791-6707 (O) (910) 791-6760 (F)  
NC License #: C-2846

**LANDSCAPE PLAN**  
WILMINGTON MUNICIPAL GOLF COURSE  
311 DONALD ROSS DRIVE  
WILMINGTON, NC 28409

**PROJECT STATUS:**  
CONCEPTUAL LAYOUT:  
PRELIMINARY LAYOUT:  
FINAL DESIGN:  
RELEASED FOR CONSTRUCTION

**DRAWING INFORMATION:**  
DATE: 04/02/19  
DRAWN: JRC  
CHECKED: JRC

SEAL  
NORTH CAROLINA  
1449  
04/02/19  
JAMES R. CIRELLO  
Professional Engineer  
No. 11000

**L-1.0**  
PEI JOB#: 18152.PE

ISSUED FOR CONSTRUCTION